

# Victoria Park



## Development Plan Report

Adopted November 1, 1999  
Pursuant to City of DeLand  
Ordinance 99-34

**ORDINANCE NO. 99-34**

03/27/2000 07:15  
Instrument # 2000-050749  
Book : 4534  
Page : 2084

**AN ORDINANCE OF THE CITY OF DELAND, FLORIDA, CHANGING THE ZONING FROM VOLUSIA COUNTY A2, RR, RA AND R4 ZONING DISTRICTS, TO CITY PD, PLANNED DEVELOPMENT DISTRICT, ON DESCRIBED PROPERTY LOCATED IN THE SOUTHEAST PORTION OF THE CITY, BISECTED BY ORANGE CAMP ROAD AND MARTIN LUTHER KING, JR. BOULEVARD; APPROVING A DEVELOPMENT PLAN REPORT FOR VICTORIA PARK, A MIXED USE PLANNED DEVELOPMENT CONSISTING OF APPROXIMATELY 1,766 ACRES OF PROPERTY; DIRECTING A CHANGE IN THE COMPREHENSIVE ZONING MAP; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.**

**WHEREAS**, St. Joe Residential Acquisitions, Inc., (hereinafter referred to as "Applicant"), owns a 1,766 acre parcel of land located in the southeast portion of the City, bisected by Orange Camp Road and Martin Luther King, Jr. Boulevard, which is more particularly described in the legal description attached hereto as Exhibit "A" and by this reference made a part hereof; and

**WHEREAS**, Applicant has applied for a change of zoning from the present zoning classification of Volusia County A2, RR, RA and R4 zoning districts, to City PD, Planned Development District; and

**WHEREAS**, said rezoning as a PD District is consistent with both the Comprehensive Plan and the purpose and intent of Section 33-32 of the Code of Ordinances of the City of DeLand (the "Code"); and

**WHEREAS**, Applicant has submitted an application for approval of a development plan report for Victoria Park to encompass all of the property described in Exhibit "A" (hereinafter the "Property" or the "Project"); and

**WHEREAS**, the proposed development plan report meets or exceeds the minimum conditions and standards for the PD District with respect to minimum development size, perimeter setbacks, comprehensive plan consistency, internal compatibility, external compatibility, open spaces, sidewalks, environmental constraints, internal access and circulation, external transportation access, off-street parking, public facilities and unified control; and

**WHEREAS**, the proposed development plan report is consistent with the New Community Development land use designation which: encourages intensified development in outlying or newly developed areas for a variety of commercial and residential needs; encourages clustering of new development to promote shared facilities and access and to discourage linear development along collector and arterial level roadways; permits energy and cost effective delivery of services; and, requires properly designed ingress and egress to avoid undue traffic hazards or congestion;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF DELAND, FLORIDA:**

**Section 1.** The City Commission has held a public hearing to approve the change of zoning from Volusia County A2, RR, RA and R4 zoning districts, to City PD, Planned Development District.

**Section 2.** Pursuant to the determination made at public hearing, the City Commission hereby amends the Comprehensive Zoning Map of the City to include the land described in Exhibit "A" as PD, Planned Development District.

**Section 3.** The zoning of the Property as PD, Planned Development District, is made pursuant to Section 33-32 of the Code and the development of the Property shall take place in accordance with that Section and in substantial compliance with the Development Plan Report, Narrative, Maps and other supporting documentation submitted by Applicant which shall be filed and retained for public inspection in the office of the City Planning Department and constitute a supplement to the official Zoning Map of the City.

**Section 4.** The approved Development Plan Report for Victoria Park, including the Development Plan Report, Maps and other supporting documentation (on file with the City Planning Department), are incorporated herein by reference and shall be amended to include the conditions as set forth in the document entitled "Conditions for the Approval of the Victoria Park Planned Development Report," which is attached hereto as Exhibit "B" and by this reference made a part hereof.

**Section 5.** The failure of the approved Development Plan Report to address a particular permit, condition, term or restriction shall not relieve the Applicant of the necessity of complying with any law governing said permitting requirements, conditions, terms or restrictions, as same may be amended or enacted from time to time in the future. All current land development regulations of the City are applicable to the PD District except to the extent that they conflict with a specific provision of the approved Development Plan Report. The failure of the approved Development Plan Report to address a particular permit, condition, term or restriction shall not relieve the Applicant of the necessity of complying with any law governing said permitting requirements, conditions, terms or restrictions, as same may be amended or enacted from time to time in the future. All current land development regulations of the City are applicable to the PD District except to the extent that they conflict with a specific provision of the approved Development Plan Report in which case the Development Plan Report shall control.

**Section 6.** At the time of development, the Applicant shall comply with all relevant building codes and development standards contained in the City's Code of Ordinances or in the Development Plan Report; provided, however, that the development standards contained in the adopted Development Plan Report shall supersede comparable standards contained in the Code of Ordinances.

**Section 7.** Pursuant to Article 8 of the City's Land Development Regulations, the Applicant shall comply with all applicable infrastructure regulations.

**Section 8.** The City Commission may rezone any portion of the Project which has not obtained a development order within fifteen years from the date of adoption of this Ordinance.

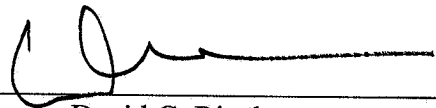
**Section 9.** The City Engineer, Planning Director and Building Department are hereby directed to change the Comprehensive Zoning Map of the City of DeLand to conform with the change of zoning enacted in this Ordinance.

**Section 10.** No rights to obtain final development orders nor any rights to develop the property have been granted or implied by this Ordinance. Final development orders for the property including, but not limited to, subdivision and site plan approval shall be required before any development may commence. Compliance with all permitting regulations, whether required by the City of DeLand or any other regulatory agency, shall be required before any development may commence and during the pendency of development of the entire described property.

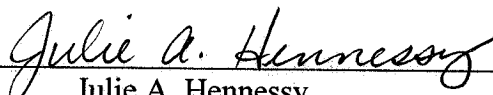
**Section 11.** If any section, sentence, clause or phrase of this Ordinance is held to be invalid or unconstitutional by any court of competent jurisdiction, that holding shall in no way affect the validity of the remaining portions of this Ordinance.

**Section 12.** This Ordinance shall become effective immediately upon its adoption.

**PASSED AND DULY ADOPTED** this 1<sup>st</sup> day of Nov., 1999.

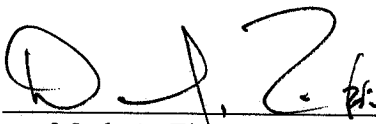
  
\_\_\_\_\_  
David C. Rigsby  
Mayor-Commissioner

**ATTEST:**

  
\_\_\_\_\_  
Julie A. Hennessy  
City Clerk - Auditor

Passed on first reading:      October 18, 1999  
Adopted on second reading:   November 1, 1999

**APPROVED AS TO FORM AND LEGALITY:**

  
\_\_\_\_\_  
Mark A. Zimmerman  
City Attorney

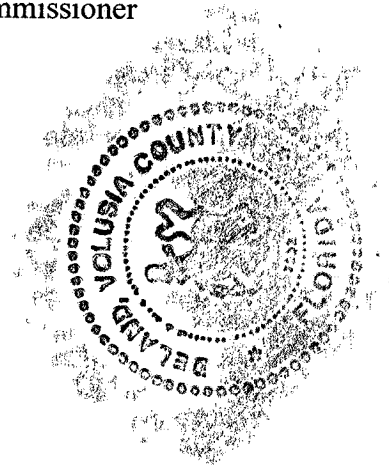




Exhibit "A"

A tract of land being a portion of Sections 22, 23, 24, 25, 26, 27, 34, 35 and 36, Township 17 South, Range 30 East, Volusia County, Florida, being more particularly described as follows:

Begin at the Northwest corner of the Southwest 1/4 of Section 24; thence South 00 degrees 37 minutes 34 seconds East (S 00°37'34" E), along the West line of the Southwest 1/4 of Section 24 a distance of 1352.92 feet; thence North 89 degrees 58 minutes 44 seconds East (N 89°58'44" E), along the North line of the South one half of the Southwest 1/4 of Section 24 a distance of 2656.18 feet; thence South 00 degrees 11 minutes 32 seconds East (S 00°11'32" E), along the East line of the Southwest 1/4 of Section 24 a distance of 1339.36 feet; thence South 89 degrees 56 minutes 49 seconds East (S 89°56'49" E), along the North line of the Northeast 1/4 of Section 25 a distance of 1358.11 feet; thence South 00 degrees 55 minutes 02 seconds East (S 00°55'02" E), along the East line of the West one half of the Northeast 1/4 of Section 25 a distance of 2684.50 feet; thence South 00 degrees 57 minutes 20 seconds East (S 00°57'20" E), along the East line of the West one half of the Southeast 1/4 of Section 25 a distance of 660.74 feet; thence North 89 degrees 35 minutes 41 seconds West (N 89°35'41" W), along the South line of the North one half of the Northwest 1/4 of the Southeast 1/4 of Section 25 a distance of 829.87 feet; thence South 15 degrees 45 minutes 06 seconds West (S 15°45'06" W), along the West right of way of Interstate No. 4 a distance of 682.54 feet; thence North 89 degrees 27 minutes 50 seconds West (N 89°27'50" W), along the North line of the Southwest 1/4 of the Southeast 1/4 of Section 25 a distance of 329.40 feet; thence North 89 degrees 56 minutes 14 seconds West (N 89°56'14" W), along the South line of the North one half of the Southwest 1/4 of Section 25 a distance of 1988.19 feet; thence South 01 degrees 01 minutes 01 seconds East (S 01°01'01" E), along the West line of the East 3/4 of the South one half of the Southwest 1/4 of Section 25 a distance of 1322.65 feet; thence South 00 degrees 48 minutes 14 seconds East (S 00°48'14" E), along the East line of the Northwest 1/4 of the Northwest 1/4 of the Northwest 1/4 of Section 36 a distance of 665.73 feet; thence South 89 degrees 57 minutes 09 seconds West (S 89°57'09" W), along the South line of the Northwest 1/4 of the Northwest 1/4 of the Northwest 1/4 of Section 36 a distance of 665.05 feet; thence South 00 degrees 34 minutes 11 seconds East (S 00°34'11" E), along the East line of the Northeast 1/4 of Section 35 a distance of 1993.59 feet; thence South 89 degrees 37 minutes 28 seconds West (S 89°37'28" W), along the South line of the Northeast 1/4 of Section 35 a distance of 2592.61 feet; thence South 00 degrees 58 minutes 38 seconds East (S 00°58'38" E), along the East line of the Southwest 1/4 of Section 35 a distance of 2706.16 feet; thence South 89 degrees 55 minutes 14 seconds West (S 89°55'14" W), along the South line of the Southwest 1/4 of Section 35 a distance of 2639.36 feet; thence South 89 degrees 42 minutes 42 seconds West (S 89°42'42" W), along the South line of the Southeast 1/4 of Section 34 a distance of 114.00 feet; thence North 01 degrees 01 minutes 56 seconds West (N 01°01'56" W), along the East line of the West 550 feet of the South 550 feet of the Southeast 1/4 of the Southeast 1/4 of the Southeast 1/4 of Section 35 a distance of 550.05 feet; thence South 89 degrees 42 minutes 42 seconds West (S 89°42'42" W), along the North line of the West 550 feet of the South 550 feet of the Southeast 1/4 of the Southeast 1/4 of the Southeast 1/4 of Section 35 a distance of 550.05 feet; thence South 01 degrees 01 minutes 56 seconds East (S 01°01'56" E), along the West line of the West 550 feet of the South 550 feet of the Southeast 1/4 of the Southeast 1/4 of the Southeast 1/4 of Section 35 a distance of 550.05 feet; thence South 89 degrees 42 minutes 42 seconds West (S 89°42'42" W), along the South line of the Southeast 1/4 of Section 34 a distance of 1992.15 feet; thence South 89 degrees 42 minutes 57 seconds West (S 89°42'57" W), along the South line of the Southwest 1/4 of Section 34 a distance of 2642.67 feet; thence North 00 degrees 37 minutes 44 seconds West (N 00°37'44" W), along the West line of the Southwest 1/4 of Section 34 a distance of 1364.37 feet; thence North 89 degrees 54 minutes 41 seconds East (N 89°54'41" E), along the South line of the

BOOK: 4554  
PAGE: 2007

Northwest 1/4 of the Southwest 1/4 of Section 34 a distance of 1315.73 feet; thence North 00 degrees 52 minutes 00 seconds West (N 00°52'00" W), along the East line of the Northwest 1/4 of the Southwest 1/4 of Section 34 a distance of 1359.93 feet; thence South 89 degrees 53 minutes 30 seconds East (S 89°53'30" E), along the North line of the Southwest 1/4 of Section 34 a distance of 1310.13 feet; thence South 89 degrees 53 minutes 30 seconds East (S 89°53'30" E), along the South line of the Northeast 1/4 of Section 34 a distance of 2661.16 feet; thence North 01 degrees 28 minutes 19 seconds West (N 01°28'19" W), along the East line of the Northeast 1/4 of Section 34 a distance of 2683.29 feet; thence North 89 degrees 56 minutes 02 seconds East (N 89°56'02" E), along the North line of the Northwest 1/4 of Section 35 a distance of 1997.98 feet; thence North 01 degrees 20 minutes 24 seconds West (N 01°20'24" W), along the East line of the South one half of the West 3/4 of the Southwest 1/4 of Section 26 a distance of 1322.11 feet; thence South 89 degrees 50 minutes 47 seconds West (S 89°50'47" W), along the North line of the Southeast 1/4 of the Southwest 1/4 of Section 26 a distance of 665.00 feet; thence South 01 degrees 17 minutes 51 seconds East (S 01°17'51" E), along the East line of the Northeast 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 26 a distance of 660.53 feet; thence South 89 degrees 53 minutes 24 seconds West (S 89°53'24" W), along the South line of the Northeast 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 26 a distance of 665.49 feet; thence North 01 degrees 15 minutes 19 seconds West (N 01°15'19" W), along the West line of the Northeast 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 26 a distance of 660.02 feet; thence South 89 degrees 50 minutes 47 seconds West (S 89°50'47" W), along the North line of the Southwest 1/4 of the Southwest 1/4 of Section 26 a distance of 665.00 feet; thence North 01 degrees 12 minutes 47 seconds West (N 01°12'47" W), along the West line of the Southwest 1/4 of Section 26 a distance of 1319.00 feet; thence South 89 degrees 25 minutes 24 seconds West (S 89°25'24" W), along the South line of the Northeast 1/4 of Section 27 a distance of 2647.58 feet; thence South 89 degrees 07 minutes 36 seconds West (S 89°07'36" W), along the South line of the Northwest 1/4 of Section 27 a distance of 1317.40 feet; thence North 01 degrees 17 minutes 28 seconds West (N 01°17'28" W), along the West line of the Southwest 1/4 of the Southeast 1/4 of the Northwest 1/4 of Section 27 a distance of 499.61 feet; thence North 89 degrees 08 minutes 49 seconds East (N 89°08'49" E), along a line 160.6 feet South of the North line of the Southwest 1/4 of the Southeast 1/4 of the Northwest 1/4 of Section 27 a distance of 30.00 feet; thence North 01 degrees 17 minutes 28 seconds West (N 01°17'28" W), along a line 30 feet East of and parallel to the West line of the Southwest 1/4 of the Southeast 1/4 of the Northwest 1/4 of Section 27 a distance of 160.60 feet; thence North 89 degrees 08 minutes 49 seconds East (N 89°08'49" E), along the North line of the Southwest 1/4 of the Southeast 1/4 of the Northwest 1/4 of Section 27 a distance of 628.64 feet; thence North 01 degrees 17 minutes 46 seconds West (N 01°17'46" W), along the West line of the Northeast 1/4 of the Southeast 1/4 of the Northwest 1/4 of Section 27 a distance of 659.98 feet; thence North 89 degrees 10 minutes 03 seconds East (N 89°10'03" E), along the North line of the Northeast 1/4 of the Southeast 1/4 of the Northwest 1/4 of Section 27 a distance of 658.59 feet; thence North 01 degrees 18 minutes 04 seconds West (N 01°18'04" W), along the East line of the Northwest 1/4 of Section 27 a distance of 1235.48 feet; thence North 89 degrees 26 minutes 38 seconds East (N 89°26'38" E), along the South right of way of Taylor Road a distance of 662.88 feet; thence South 01 degrees 16 minutes 45 seconds East (S 01°16'45" E), along the East line of the Northwest 1/4 of the Northwest 1/4 of the Northeast 1/4 of Section 27 a distance of 575.68 feet; thence North 89 degrees 26 minutes 19 seconds East (N 89°26'19" E), along the South line of the Northeast 1/4 of the Northwest 1/4 of the Northeast 1/4 of Section 27 a distance of 331.33 feet; thence North 01 degrees 16 minutes 05 seconds West (N 01°16'05" W), along the West line of the East one half of the Northeast 1/4 of the Northwest 1/4 of the Northeast 1/4 of Section 27 a distance of 577.02 feet to a point lying on the South right of way of Taylor Road; said point being on a curve concave Northerly; thence from a tangent bearing of North 87 degrees 51 minutes 31 seconds East (N 87°51'31" E) run Easterly along a curve having a radius of

3581.24 feet, arc length of 332.17 feet, delta angle of 05 degrees 18 minutes 52 seconds (05°18'52"), a chord bearing of North 85 degrees 12 minutes 06 seconds East (N 85°12'06" E), and a chord length of 332.05 feet; thence departing said right of way run South 01 degrees 15 minutes 25 seconds East (S 01°15'25" E), along the East line of the Northeast 1/4 of the Northwest 1/4 of the Northeast 1/4 of Section 27 a distance of 601.55 feet; thence North 89 degrees 26 minutes 19 seconds East (N 89°26'19" E), along the South line of the Northwest 1/4 of the Northeast 1/4 of the northeast 1/4 of Section 27 a distance of 331.33 feet; thence North 01 degrees 14 minutes 46 seconds West (N 01°14'46" W), along the West line of the East one half of the Northwest 1/4 of the Northeast 1/4 of the Northeast 1/4 of Section 27 a distance of 647.82 feet; thence North 81 degrees 20 minutes 41 seconds East (N 81°20'41" E), along the South right of way of Taylor Road a distance of 1002.86 feet; thence South 01 degrees 09 minutes 47 seconds East (S 01°09'47" E) along the East line of the Southeast 1/4 of the Southeast 1/4 of Section 22 a distance of 129.52 feet; thence South 01 degrees 12 minutes 47 seconds East (S 01°12'47" E) along the East line of the Northeast 1/4 of Section 27 a distance of 659.50 feet; thence South 89 degrees 26 minutes 19 seconds West (S 89°26'19" W) along the South line of the Northeast 1/4 of the Northeast 1/4 of the Northeast 1/4 of Section 27 a distance of 662.66 feet; thence South 01 degrees 14 minutes 06 seconds East (S 01°14'06" E) along the West line of the Southeast 1/4 of the Northeast 1/4 of the Northeast 1/4 of Section 27 a distance of 329.78 feet; thence North 89 degrees 26 minutes 10 seconds East (N 89°26'10" E) along the South line of the North one half of the Southeast 1/4 of the Northeast 1/4 of the Northeast 1/4 of Section 27 a distance of 662.56 feet; thence South 01 degrees 12 minutes 47 seconds East (S 01°12'47" E) along the East line of the Northeast 1/4 of Section 27 a distance of 329.75 feet; thence North 89 degrees 38 minutes 08 seconds East (N 89°38'08" E), along the North line of the Southwest 1/4 of the Northwest 1/4 of Section 26 a distance of 1326.00 feet; thence South 01 degrees 17 minutes 52 seconds East (S 01°17'52" E), along the West line of the Southeast 1/4 of the Northwest 1/4 of Section 26 a distance of 1321.87 feet; thence North 89 degrees 45 minutes 31 seconds East (N 89°45'31" E), along the South line of the Northwest 1/4 of Section 26 a distance of 1328.00 feet; thence North 01 degrees 22 minutes 55 seconds West (N 01°22'55" W), along the West line of the Northeast 1/4 of Section 26 a distance of 2649.51 feet; thence North 01 degrees 05 minutes 49 seconds West (N 01°05'49" W), along the West line of the Southeast 1/4 of Section 26 a distance of 676.65 feet; thence South 89 degrees 33 minutes 40 seconds West (S 89°33'40" W), along the South line of the Northeast 1/4 of the Southeast 1/4 of the Southwest 1/4 of Section 23 a distance of 662.21 feet; thence North 01 degrees 06 minutes 49 seconds West (N 01°06'49" W), along the West line of the Northeast 1/4 of the Southeast 1/4 of the Southwest 1/4 of Section 23 a distance of 677.21 feet; thence North 89 degrees 36 minutes 36 seconds East (N 89°36'36" E), along the West line of the Northeast 1/4 of the Southeast 1/4 of the Southwest 1/4 of Section 23 a distance of 662.41 feet; thence North 01 degrees 05 minutes 49 seconds West (N 01°05'49" W), along the West line of the Southeast 1/4 of Section 23 a distance of 1353.30 feet; thence North 89 degrees 42 minutes 26 seconds East (N 89°42'26" E), along the North line of the Southeast 1/4 of Section 23 a distance of 2675.20 feet to the Northwest corner of the Southwest 1/4 of Section 24 and the POINT OF BEGINNING.

AND:

That part of the East 3/4 of the South one half of the Southwest 1/4 of Section 25, Township 17 South, Range 30 East, Volusia County, Florida lying North of Stewart Road as depicted in Map Book 20, Page 52 of the Public Records of Volusia County, Florida, more particularly described as follows:

Begin at the Northeast corner of the East 3/4 of the South one half of the Southwest 1/4 of said Section 25; thence South 00 degrees 58 minutes 09 seconds East (S 00°58'09" E) along the East line of the East 3/4 of the South one half of the Southwest 1/4 of Section 25 for a distance of 358.14 feet to the Northerly

Right-of-Way line of Stewart Road; thence run North 52 degrees 25 minutes 02 seconds West (N 52°25'02" W) along said Right-of-Way line for a distance of 154.27 feet to the Point of Curvature of a curve Southwesterly having a radius of 3280.00 feet; thence run Northwesterly along the arc of said curve through a central angle of 03 degrees 48 minutes 24 seconds (03° 48' 24") for an arc length of 217.92 feet to the Point of Tangency; thence North 56 degrees 13 minutes 26 seconds West (N 56°13'26" W) for 123.72 feet to the Point of Curvature of a curve concave Southwesterly having a radius of 580.00 feet; thence run Northwesterly along the arc of said curve through a central angle of 12 degrees 50 minutes 48 seconds (12°50'48") for an arc length of 130.05 feet to the Point of Tangency; thence run North 69 degrees 04 minutes 14 seconds West (N 69°04'14" W) for a distance of 25.46 feet to the North line of the East 3/4 of the South one half of the Southwest 1/4 of Section 25; thence South 89 degrees 56 minutes 14 seconds East (S 89°56'14" E) along the said North line for a distance of 535.06 feet to the POINT OF BEGINNING.

LESS Rights-of-Way of record.

AND LESS:

That part of the Southwest 1/4 of Section 34, Township 17 South, Range 30 lying South of State Road No. 472.

AND LESS:

That part of the East one half of Section 25, Township 17 South, Range 30 East, lying within the City Limits of Lake Helen, Florida.

AND LESS:

That part of the NW 1/4 of the NW 1/4 of the NE 1/4 of Section 27, Township 17 South, Range 30 East, being described as follows: Commence at the North 1/4 corner of Section 27, thence run South 01 degrees 18 minutes 04 seconds East (S 01°18'04" E), along the West line of the NE 1/4 of said Section 27 for a distance of 84.00 feet to the POINT OF BEGINNING said point being on the South Right-of-Way line of Taylor Road; thence run North 89 degrees 26 minutes 38 seconds East (N 89°26'38" E) along said South Right-of-Way for a distance of 50.00 feet; thence South 44 degrees 04 minutes 17 seconds West (S 44°04'17" W) for a distance of 70.26 feet, to said West line of the NE 1/4 thence North 01 degrees 18 minutes 04 seconds West (N 01°18'04" W) for a distance of 50.00 feet to the POINT OF BEGINNING.

AND LESS:

That part of the Southwest 1/4 of Section 34, Township 17 South, Range 30 East, Volusia County, Florida, more particularly described as follows: Commence at the Southwest corner of said Section 34; thence North 00°37'44" West along the West line of the Southwest 1/4 for 1364.37 feet to the POINT OF BEGINNING; thence North 89°54'41" East, 1315.73 feet; thence South 00°52'00" East, 313.01 feet to a point on the North Right-of-Way of State Road #472, said point being on a curve concave Southwesterly having a radius of 2964.92 feet; thence from a tangent bearing of North 68°08'15" West run Northwesterly along the arc of said curve through a central angle of 19°06'48" for 989.07 feet to the point of tangency; thence North 87°15'03" West, 358.08 feet to the POINT OF BEGINNING.

**EXHIBIT B**

**“CONDITIONS FOR THE APPROVAL OF THE VICTORIA PARK PLANNED  
DEVELOPMENT REPORT”**

None, other than those contained in the “Victoria Park Development Plan Report,” adopted November 1, 1999.”

# The News-Journal

Published Daily and Sunday  
Daytona Beach, Volusia County, Florida

State of Florida,  
County of Volusia:

Before the undersigned authority personally appeared

Celeste Hart

who, on oath says that he is.....

Classified Sales Manager

of The News-Journal, a daily and Sunday newspaper, published  
at Daytona Beach in Volusia County, Florida; that the  
attached copy of advertisement, being a .....

Notice of Public Hearing

in the matter of ..... Ordinance No. 99-34

in the ..... Court, was published

in said newspaper in the issues.....

October 22, 1999

Affiant further says that The News-Journal is a newspaper  
published at Daytona Beach, in said Volusia County, Florida,  
and that the said newspaper has heretofore been continuously  
published in said Volusia County, Florida, each day and  
Sunday and has been entered as second-class mail matter at the  
post office in Daytona Beach, in said Volusia County, Florida,  
for a period of one year next preceding the first publication of  
the attached copy of advertisement; and affiant further says  
that he has neither paid nor promised any person, firm or  
corporation any discount, rebate, commission or refund for the  
purpose of securing this advertisement for publication in the  
said newspaper.

*[Signature]*

Sworn to and subscribed before me

this ..... 22nd ..... day of ..... October

A.D. 19 99

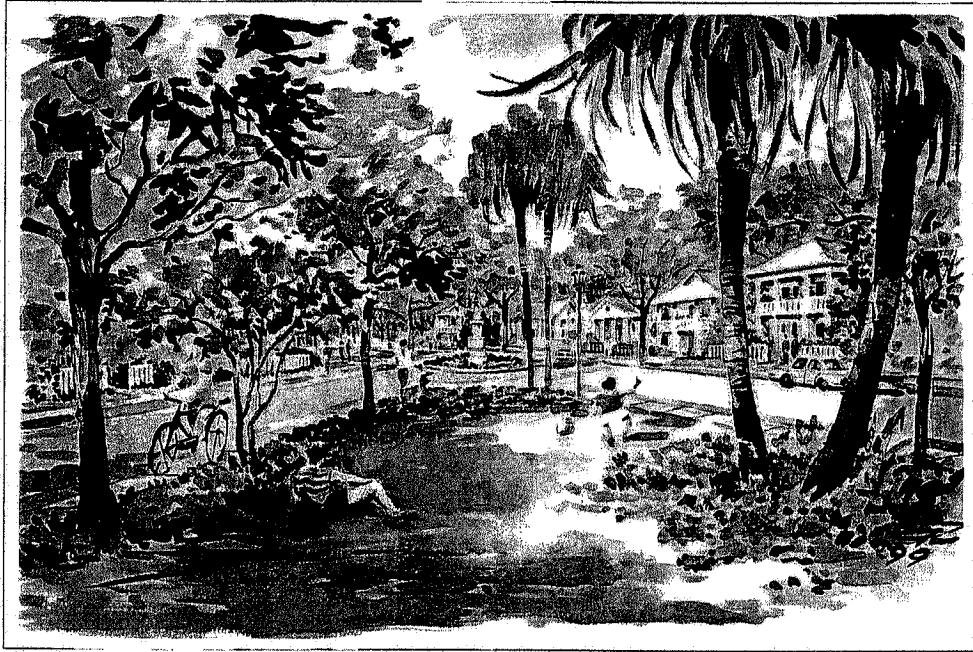
*Anita Marie Saunders*



ANITA MARIE SAUNDERS  
Notary Public, State of Florida  
My Comm. Exp. Aug. 30, 2003  
Comm. No. CC 867646

LEGAL ADVERTISEMENT  
NOTICE OF PUBLIC HEARING  
CITY COMMISSION  
CITY OF DELAND, FLORIDA  
NOTICE IS HEREBY GIVEN that  
there will be a Public Hearing on the  
following ordinance on November 1,  
1999, at the regular meeting of the De-  
Land City Commission. The meeting  
will take place at 7:00 P.M. in the City  
Commission Chambers, 121 West  
Rich Avenue, City Hall Annex. All in-  
terested parties are invited to attend  
and be heard on the matter.  
Any person who appeals any decision  
made by the City Commission with  
respect to any matter considered at  
this meeting will need a record of the  
proceeding and, thus, may need to en-  
sure that a verbatim record of the  
proceeding is made, including the tes-  
timony and evidence upon which an  
appeal may be based.  
The original of the ordinance is on  
file in the office of the City Clerk and  
may be inspected Monday through  
Friday from 8:00 A.M. to 4:30 P.M.  
ORDINANCE 99-34  
AN ORDINANCE OF THE CITY  
OF DELAND, FLORIDA, CHAN-  
GING THE ZONING FROM VOLU-  
SIA COUNTY A2, RR, RA AND R4  
ZONING DISTRICTS, TO CITY  
PD, PLANNED DEVELOPMENT  
DISTRICT, ON DESCRIBED  
PROPERTY LOCATED IN THE  
SOUTHEAST PORTION OF THE  
CITY, BISECTED BY ORANGE  
CAMP ROAD AND MARTIN LU-  
THER KING, JR. BOULEVARD;  
APPROVING A DEVELOPMENT  
PLAN REPORT FOR VICTORIA  
PARK, A MIXED USE PLANNED  
DEVELOPMENT CONSISTING  
OF APPROXIMATELY 1.766  
ACRES OF PROPERTY, DIRECT-  
ING A CHANGE IN THE COM-  
PREHENSIVE ZONING MAP;  
PROVIDING FOR SEVERABILITY  
AND AN EFFECTIVE DATE.  
Legal Notice, October 22, 1999

# Victoria Park



## Development Plan Report

Adopted November 1, 1999  
Pursuant to City of DeLand  
Ordinance 99-34

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# **1 PRINCIPLES OF THE PLAN**

## **Introduction**

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# **1 PRINCIPLES OF THE PLAN**

## **Introduction**

This project is being developed in furtherance of the City's New Community Development Land Use Designation and is a Development of Regional Impact subject to a Development Order adopted by the City on June 21, 1999 and approved by the Florida Department of Community Affairs on August 12, 1999. The adoption of this Plan Development Report (DPR) and the accompanying Planned Development District for Victoria Park is consistent with and meets the requirements of Section 33-32 of the DeLand Land Development Regulations. Consistent with the New Community Development Land use Designation, the goal is to encourage innovative land use techniques, creative urban design, environmental protection and the judicious use of sustainable development principles and practices. The city is to encourage new and innovative design and land planning efforts to facilitate this outcome.

**The primary land development regulations for Victoria Park are contained in this Development Plan Report (DPR). Except as set forth below, the provisions of this DPR shall apply to all development within the Victoria Park DRI that is within the City of DeLand. If this DPR does not address an issue or criteria of development, reference shall be made to the adopted City of DeLand Land Development Regulations (LDR's) for development parameters to be applied to Victoria Park. Where there are conflicting regulatory requirements between this DPR and the existing LDR's, this DPR shall be controlling. In the interpretation and application of this DPR all provisions shall be liberally construed in favor of the**

**objectives and purposes of the New Community Development Land Use Designation, the Development Order and the goals and objectives set forth herein. In the event that any question arises concerning the application of or performance under this DPR, the City Technical Review Committee shall be responsible for interpretation and shall look to the City Comprehensive Plan, the Development Order and the goals and objectives set forth herein for guidance. Pursuant to Section 33-07.05 the City adopts this DPR as an amendment to its Land Development Regulations.**

The goals of the project are to integrate a large mixed-use development into the fabric of the City by creating an Open Space System coupled with a balanced transportation system, an array of distinctive neighborhoods and a Village Center which will include a mix of uses such as office, retail and housing within the community.

The vision for Victoria Park combines the qualities of historical neighborhoods with the progressive attributes of today's successful communities. It recognizes the significant community enhancement achieved through the careful preservation and cultivation of the natural environment and the creation of pedestrian friendly neighborhoods that contribute to an attractive small town scale. Victoria Park will integrate the built environment with the existing natural environment to create a unique place within the City of DeLand.

# 1 PRINCIPLES OF THE PLAN

In attempting to create such a community with these ancillary support facilities and in particular commercial development in the portion of the project aligned with the City of Lake Helen, the City sees an opportunity to master plan a large segment of land and to do so in a way which draws upon the best traditions of the City of DeLand. Recognizing that this plan must be tempered with an appreciation of the realities of the market place, the City's goal is realistic and achievable only if it is flexible in its implementation. Balancing flexibility with predictability is the key planning paradigm.

Victoria Park will reflect the following principles:

- Create and uphold a strong vision.
- A respect for the environmental setting in which it is located and good stewardship of the natural and manmade systems on site.
- A Village Center to house a mix of uses and to bring people together.
- A development pattern that compliments the natural systems and takes advantage of opportunities to restore and enhance those systems found on the site.
- Housing that addresses a broad range of needs through a variety of types and that creates architecture and pricing within neighborhoods.
- A master plan that is flexible enough to respond to changes in the market place and evolution of the community without compromising the original vision.

## 1.1 Principles of the Plan

The Master Plan (Map H attached to the adopted Development Order) adopts land use designations that are compatible with the surrounding existing neighborhood and reflects all conditions of the Victoria Park DRI. The Master Plan and its accompanying Development Order together with this DPR satisfies the requirements of Section 33-133 of Article 12 Land Development Regulations of the City. The only development presently in existence and adjacent to Victoria Park is residential. Victoria Park integrates into and is complimentary to the existing housing patterns. The development of a new elementary school along Blue Lake Avenue supports the expansion of housing in the area. The presence of I-4 and lands adjacent to it within Lake Helen, but a part of the DRI provides compatible opportunities for workplace facilities to augment residential development within DeLand.

The Master Plan proposes a street system that has selected options to connect to existing streets surrounding the Victoria Park site. The plan makes provision for connection within the neighborhoods for automobile, bicycle and pedestrian movement. Existing streets to which the new framework may connect are constrained by existing off site development. As such, the determination to connect or not connect to existing adjacent development will be made as Victoria Park matures and develops over time, but in order to maintain traffic calming ambiance within Victoria Park, much of the street network will operate internally.

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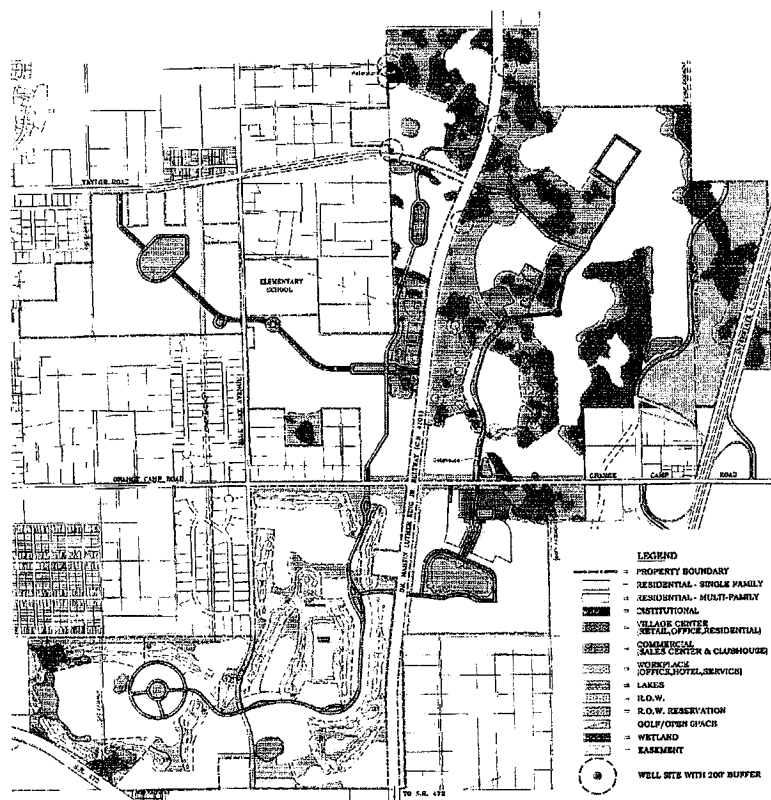
The Master Plan is based on three key principles that have guided the decisions related to the physical planning of the Victoria Park site. They include (1) environment and parks (2) transportation and (3) development patterns and standards. Each are discussed below.

## 1.2 Environment and Parks

The Plan reflects an understanding of the local environment indigenous to the site. Natural systems such as the wetland and scrub oak systems, as well as the long leaf pine areas are viewed in their entirety rather than a series of isolated or fragmented features. The plan promotes development that works in concert with nature. Its essential goal is to integrate

the built environment with the natural environment in such a way that neither does a disservice to the other. As such, the plan insures a continuous and connected open space system which supports the diverse ecosystems and wildlife that exists within the development itself.

The Plan contemplates the development of a series of interrelated environmental maintenance and management protocols which will ensure that important ecological resources of the site are preserved, enhanced and maintained in perpetuity. This is accomplished through a Site Mitigation and Management Plan (SMMP) to be incorporated into and made a part of the Development Order and by the adoption of Section 9 of this DPR.



MASTER PLAN

# 1 PRINCIPLES OF THE PLAN

Various ecological areas will constitute a part of an Open Space System. The Open Space System will be comprised of Resource Based Areas, Activity-Based Parks and Neighborhood Parks. Victoria Park will provide bicycle and pedestrian paths linking not only the neighborhoods with the Village Center but linear parks that will encourage the use of non-polluting means of transportation for short trips in and through the Open Space System. The bike path system will be designed to connect to existing and future regional bike paths.

By connecting the environmental resources with pedestrian transportation opportunities through bike paths and walking trails, an opportunity is presented to create an integrated Open Space System throughout Victoria Park.

*See Section 3.*

## 1.3 Transportation

The Plan recognizes the importance of the automobile but strives to minimize its negative impacts and promotes a balanced transportation system. Convenient neighborhood gathering places and a Village Center are an important strategy in promoting a goal of a pedestrian oriented walkable community. Narrow streets are proposed throughout the plan and many will provide for on street parking. Discontinuous streets and other traffic calming measures are incorporated into the plan and are intended to deter fast moving traffic. Isolating the major thoroughfares by natural and manmade landscape buffers from the interior of the community also segregates the interior transportation modes from the more complex

and heavily traveled arterials which bisect the community as a whole.

In keeping with the City's vision, the master plan will, to the fullest extent practicable, allow connection to the surrounding neighborhoods, but all major streets entering the community will be designed to minimize high speed traffic through the site. It is recognized that many of the surrounding communities presently are built out on cul-de-sacs that do not allow for the integration of the Victoria Park street system. Where possible, efforts will be undertaken to explore opportunities for external connectivity, but streets are to be designed in such a way that they are responsive to the ecological preserve and set aside areas within the community and provide for the efficient flow of traffic within the community of Victoria Park.

### 1.3.1 Hierarchy of Streets

The street system will be made up of a hierarchy of street types that include (1) Boulevards, (2) Village Center Streets and (3) Residential Streets. Boulevards represent the first category of streets with wider rights-of-way and these will feature landscaped medians. Village Center Streets will be more urban in character and accommodate slower moving traffic with buildings closer to the street. Residential Streets have the narrowest rights-of-way and serve the residential neighborhoods. Buildings will have varying set backs from these streets. All three types of streets include street lighting, sidewalks usually on at least one side of the street and street trees.

*See Section 4.*

## **1 PRINCIPLES OF THE PLAN**

### **1.4 Development Patterns and Standards**

The plan is to promote a mix of land uses and residential densities that support a variety of lifestyle choices and needs. It is intended to foster active neighborhoods while respecting the desire for peace and privacy.

#### **1.4.1 Center for the Community**

The Village Center located in the southeast quadrant of Victoria Park will be the community's principle public gathering place. Emphasis will be placed on the creation of a high quality pedestrian environment by means of attractive store fronts and a pleasant street scape. Office, retail shops, restaurants and entertainment venues within this area coupled with access to the water front at the end of a traditional "Main Street" is anticipated. Retailing is intended to help generate a lively street scene in both day and evening hours. The mix of retail, commercial and multi-family housing that is anticipated within the Village Center is on a scale that is consistent with the limitations contained in the Development Order.

#### **1.4.2 Distinct Neighborhoods**

Each residential district is to have its own character. Neighborhood centers may be a characteristic of some of these areas. These may be intimate in scale and may feature a neighborhood green, a square or perhaps a civic building of some type. Higher density housing may cluster around the "center" together with special community amenities in selected instances. Housing will be located so that it is accessible by walking to one or more components of the Open Space System.

#### **1.4.3 Centralized and Walkable Public School**

A public elementary school is designated on property immediately adjacent to and in the approximate geographic center of the community. As an important civic institution that may serve on occasion as a town meeting hall or community center, the school will be carefully integrated into the planning for the community. Bike trails and other walking and pedestrian paths will lead to the school site and will be a part of the plan for development of Victoria Park. A reservation of land for a public school site is not required within the Victoria Park development. However, the Developer and the School Board of Volusia County (hereinafter "School Board") agree that within 90 days of the fifth anniversary of the effective date of this Development Order, the Developer, School Board and the cities of DeLand and Lake Helen shall review the present and projected impact of the Victoria Park development on existing schools served by the Victoria Park development for the purpose of determining present and projected future school population caused by or attributable to the Victoria Park development. If, after applying the School Board's standard formula for measuring present and anticipated school population, it is shown that Victoria Park's impact at build out upon the school population will be equal to or in excess of 546 elementary school students, then the Developer will locate and purchase a twenty (20) acre elementary school site (hereinafter "site" or "school site") to be dedicated to the School Board for construction of a new elementary school. In the furtherance of this condition, the School Board has identified the criteria for and areas of Volusia County in the vicinity of

# **1 PRINCIPLES OF THE PLAN**

Victoria Park that potentially contain lands that are appropriate for a school site. The Developer will search for a school site within the boundaries described by the School Board unless Developer and School Board agree to different boundaries. Once a proposed school site has been identified by the Developer and approved by the School Board, the Developer will use all reasonable efforts to acquire the targeted school site, provided, however, if after reasonable effort to do so, the Developer is unable to obtain the targeted school site at fair market value, then the School Board may undertake a proceeding in eminent domain to acquire the targeted school site. School condemnation be used to obtain the targeted school site, the costs of same, including reasonable attorneys fees, shall be paid by the School Board and reimbursed by the Developer.

The Developer shall receive credit against school impact fees as allowed by the School Impact Fee Ordinance, (Volusia County Ordinance 97-7). If an additional elementary school site is obtained by reason of the application of this condition, the School Board agrees to use its best efforts to construct the new school within five years of the dedication of the school site.

The School Board may relieve the Developer of the necessity of finding a new school site, if in the judgment of the School Board, further efforts to locate a suitable school site would not result in locating the same and all reasonable efforts to do so have been exhausted. If after two years of searching for an acceptable site, none can be found, then the Developer will be discharged of its responsibility to acquire a school site and shall only be obligated to pay school impact fees. In like manner, if in applying the School Board's standard formula for determining present and anticipated school age children as aforesaid, the study shows that the elementary school age children attributable to the development of Victoria Park, present and anticipated, will be less than 546 students at build-out, then the Developer shall be relieved of its obligation to provide an additional school site and shall only pay impact fees as hereinafter set forth.

Impact fees for new school construction, operation and maintenance will be paid by the Developer for the Volusia County School Board based on the Volusia County School Board Impact Fee Ordinance referenced above. A credit will be allowed against Impact Fees to be incurred by the Developer, when and if, the Developer provides a school site as hereinbefore set forth and does so in conformity with the criteria set forth in the Volusia County School Impact Fee Ordinance referenced above.

# **1 PRINCIPLES OF THE PLAN**

The Developer will, in cooperation with the City of DeLand and the School Board provide pedestrian and bike access through the Victoria Park community such that residents of the same may have pedestrian and bike access to the schools and parks contemplated in this provision so long as such new school site(s) are contiguous to and abut the Victoria Park development. Additionally, the Developer shall use its best efforts to reach agreement with both the City of DeLand and the School Board for development and maintenance of co-located recreational facilities at any school constructed pursuant to this provision.

*See Sections 5, 6, and 7.*

## **1.5 Development Program**

Below is listed the Development Program for Victoria Park as the same is set forth in the DRI Development Order dated August 12, 1999. It identifies the various approved land uses and intensity of development permitted within Victoria Park.



# 1 PRINCIPLES OF THE PLAN

## VICTORIA PARK DEVELOPMENT PROGRAM

### LAND USE

A. Program:	SF/DU/RM
<u>Residential</u> (DU's)	4,200 total
Low Density	3,600
High Density	482 (less Village Center)
<u>Village Center</u> (sf)	
Retail	37,243 sf
Office	42,000 sf
Residential (MF)	118 du
Parking Spaces	569 spaces
<u>Workplace</u> (sf/rms)	
Office	775,011 sf
Hotel	270 rm
Parking Spaces	8,057 spaces
B. Land Use Acreage:	Acres
Total Acreage	1,859.00
<u>Residential</u>	
Low Density	840.00
High Density	41.00
<u>Commercial</u> <sup>1/</sup>	4.00
<u>Village Center</u>	
Office	2.00
Retail	8.00
<u>Workplace</u>	
Office	58.00
Hotel	10.00
<u>Institutional</u>	
Fire Station	0.50
Water Plant	2.00
Open Space (includes upland preserve, perimeter buffer, and wetland buffers.	344.66
Active Recreation Open Space (includes 27 holes of golf and active park) Active Park = 15 acres)	244.07
Lakes (with water)	61.48
Dry Stormwater area	± 40.00 <sup>2/</sup>
Wetlands	182.94
SUBTOTAL	873.15
Scrub Jay Habitat	154.72
Sandhill Crane Habitat	191.28 <sup>3/</sup>
Gopher Tortoise Habitat	110.53 <sup>4/</sup>
C. Estimated External Traffic Generation:	3,871 PMPH
D. Water Supply Provided by:	DeLand
E. Wastewater Service Provided by:	DeLand
F. Fire and Police Protection Provided by:	DeLand, Lake Helen or Volusia County
G. Project Phasing:	Three

<sup>1/</sup> Contains sales and recreation center in NE Quadrant.

<sup>2/</sup> Area is part of square footage acreage and part may be inside the preserve areas.

<sup>3/</sup> Includes several acreage of foraging inside golf course envelope.

<sup>4/</sup> Gopher Tortoise and Sandhill Crane Habitat acreage overlap.

**2 REGULATORY PROCEDURES**

**ARTICLE I. IN GENERAL**

	<b>Short Title</b>	<b>2.1</b>
	<b>Jurisdiction</b>	<b>2.2</b>
	<b>Purpose</b>	<b>2.3</b>
<b>Modification to Plan Development Report</b>		<b>2.4</b>

## **2 REGULATORY PROCEDURES**

### **ARTICLE I IN GENERAL**

#### **2.1 Short Title.**

This section shall be known as the "Victoria Park Modification Procedure."

#### **2.2 Jurisdiction.**

This section shall apply to the portion of the Victoria Park DRI located within the corporate limits of DeLand.

#### **2.3 Purpose.**

This section was enacted by the City Commission for the following purposes:

- (1) To establish minimum standards for the processing of modifications to this Development Plan Report (DPR).
- (2) To promote the health, safety and general welfare.
- (3) To coordinate land development in accordance with the New Community Development Comprehensive Policy Plan and other adopted rules and regulations, including the Development Order affecting the Victoria Park development.
- (4) To serve as one (1) of the several instruments of land use control authorized by the state legislature for the city.

#### **2.4 Modification to the Plan Development Report.**

##### **(1) Classification of Modifications:**

(a) Modifications to this DPR may be requested by the Developer as part of a Preliminary Site Plan approval and shall be reviewed by the City Technical Review Committee who, based on the following criteria, will make a recommendation and forward the same to the City Commission or to the Planning Board as required by this Section.

(b) Each proposed modification to the DPR shall be classified as follows:

(i) **Nonsubstantial Modification.** A nonsubstantial modification to the DPR may be approved, approved with conditions or denied by the City Technical Review Committee upon application of the criteria set forth in subsection (c) below. A Non-substantial Modification is any modification that is generally consistent with the overall intent of the DPR, has no impact on the relationship of the project to the exterior of the property, i.e., the modification shall only pertain to matters contained within the interior of the property and it shall not give rise to a "substantial deviation" to the Development Order under and pursuant to Chapter 163, F.S. The decision of the City Technical Review Committee may be appealed to the City Commission by the Developer. If appealed, the matter shall first be submitted to the

## 2 REGULATORY PROCEDURES

Planning Board which Board shall review the matter and make a recommendation to the City. The City Commission shall hold a public hearing on the appealed decision and the report of the Planning Board in accordance with its rules and procedures.

(ii) Substantial Modification. A Substantial Modification to the DPR is any modification that does not qualify as a nonsubstantial modification. It shall be reviewed by the City Technical Review Committee and a recommendation for approval, approval with conditions or denial shall be forwarded to the Planning Board which shall hold a public hearing on the Substantial Modification request. The public hearing shall be held in accordance with the City's procedures for modification reviews and following the public hearing before the Planning Board it shall make a recommendation for approval, approval with conditions or denial to the City Commission. The City Commission shall, upon receipt of the recommendation of the Planning Board, set the matter for public hearing before the City Commission at its next regularly scheduled meeting and shall after review, either approve the modification, approve with conditions or deny the same.

(c) The determination whether the modification is a substantial or nonsubstantial

modification shall initially be made by the City Technical Review Committee. In making that decision the City Technical Review Committee should consider, in addition to the matters set forth above, the scope, nature, density/intensity, and consistency of the proposed modification request with the New Community Development Land Use designation, the Development Order applicable to the property, the general intent of the DPR Ordinance in relationship to the requested modification and the location within the boundaries of the property of the activities giving rise to the proposed modification. A general finding that the proposed modification is consistent with the requirements of the referenced documents suggests a non-substantial modification. By contrast a general finding that the proposed modification is inconsistent with requirements of the reference documents suggests a substantial modification.

(d) The minutes documenting the decision of the Technical Review Committee will be forwarded to the Planning Board for informational purposes in each instance where the Technical Review Committee takes action pursuant to this Section.

### (2) Review of Request; Grant.

The City shall recommend approval of the request for modification from the terms and conditions of this DPR when such modification will not be contrary to the public interest and where, owing to special conditions, a literal enforcement of the provisions of the DPR would result in unnecessary hardship and/or be inappropriate because of changed conditions or circumstances. No pre-existing conditions of neighboring lands which are

## 2 REGULATORY PROCEDURES

contrary to this Section shall be considered grounds for the issuance of a modification. Such modification shall not be granted unless and until:

(a) Application. A written application for a modification is submitted demonstrating one (1) of the following:

(i) That special conditions and circumstances exist which are peculiar to the land, structures, or required subdivision improvements involved; or

(ii) A literal interpretation of the provisions of this DPR would deprive the developer of rights reasonably anticipated in the adoption of the DPR when viewed in conjunction with the New Community Development Land Use designation and the Development Order affecting the property.

(b) Findings. To approve a modification request the City shall make findings that the requirements of this section have been met and;

(i) that the reasons set forth in the application justify the granting of the modification which would make possible the reasonable use of the land, buildings, or other improvements.

(ii) that the granting of the modification would be in harmony with the general purpose and intent of this DPR and will not be injurious to the surrounding lands, or otherwise be detrimental to the public welfare.

(c) Conditions. Appropriate conditions and safeguards in conformity with this Section may be prescribed in the granting of any modification. Violation of such conditions and safeguards, when made a part of the terms under which the modification is granted, shall be deemed a violation of the City Code.

(d) Appeals to Circuit Court. Any person aggrieved by the City Commission decision regarding any modification, may file a petition for a writ of certiorari in the Circuit Court of Volusia County.

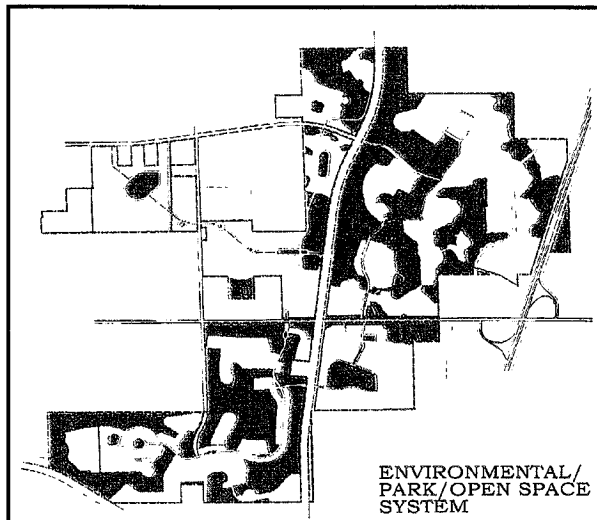
### **3 ENVIRONMENTAL / OPEN SPACE / DEVELOPMENT STANDARDS**

	<b>Introduction</b>	
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<b>Parks and Recreation in the Open Space System</b>		<b>3.2</b>
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### 3 ENVIRONMENTAL / OPEN SPACE / DEVELOPMENT STANDARDS

#### Introduction

The Environmental/Open Space System (Open Space System) is comprised of all parks, recreation areas, plazas, wildlife corridors, and other public and private landscaped open spaces including the Championship Golf Course located in the southwest quadrant and the nine-hole executive golf course located in the northeast quadrant. Collectively these elements shall be located in the approximate locations as shown on Map H, attached to the Development Order and the Master Plan included herein. While specific existing open spaces will remain as shown, other open spaces shall be located as various parcels are submitted for platting.



Approximately 708 acres shall be dedicated to the Open Space System. Within the Open Space System approximately 504 acres or 27 percent of the total land mass of Victoria Park will qualify as a Resource Area or areas permanently reserved as ecological preservation areas. Exact computations of the acreage will be determined when the ERP and Section 404 permits impacting this development have been

issued and the Developer will provide to the City a final map detailing the exact location of these areas and the acreage associated with them at that time. Open spaces shall be used for social, recreational, stormwater management, natural environmental preservation and/or mitigation and shall be restricted from future development. The components of the Open Space System are characterized as (1) Resource Areas, (2) Neighborhood Parks including a Village Center and Linear Park and (3) Activity Based Parks.

The uses allowed within these areas should be appropriate to the character of the open space, including its topography, size, and vegetation; as well as to the character of the development, including its size and density, the characteristics of the expected population, and the number and type of dwellings to be provided.

An ecosystem approach to landscape design will guide the landscaping of all public open space within Victoria Park. To create the Open Space System existing ecosystems will, to the extent possible, be preserved and enhanced. The vegetative communities which include flatwoods, pine scrub, wetlands, longleaf pines and live oak hammocks are integral to the overall site plan for Victoria Park. Most of the existing lake edge natural wetland vegetation will be enhanced and protected to properly maintain the natural ecosystem. Wetland vegetation along waterways will enhance water quality.

If stormwater is to be discharged into wetlands, it will be pre-treated in conformity with state regulatory protocols prior to release. A distribution system that assures sheet flow of

### **3 ENVIRONMENTAL / OPEN SPACE / DEVELOPMENT STANDARDS**

stormwater through the wetland will be designed to avoid channeled flow and to assure maximum contact of the stormwater with the wetland vegetation, sediment, and microorganisms. The planning and development of the Open Space System will be closely coordinated with the preparation and implementation of the Stormwater Master Plan to ensure the functioning of the wetland system. All pre-development storm water discharge volume will be maintained following development to ensure the continuing functioning of the wetland ecosystem. Stormwater management lakes will not be located in wetlands.

#### **3.1 Open Space Responsibilities**

All open space within the Open Space System, except for the golf courses, will be owned and maintained by either a Master Homeowners' Association or a Neighborhood Association unless they are dedicated to the City or other governmental entity. Where a portion of the Open Space System is required to be maintained pursuant to conditions imposed by reason of permits issued by either the state or Federal government, the conditions imposed by the same shall be adhered to by the developer or the developer's successor in interest; i.e. a Master Homeowners's Association or a Neighborhood Association.

#### **3.2 Parks and Recreation in the Open Space System**

The Open Space System will address the operation and management of the site's open space facilities (including those to be deeded to or administered by the City of DeLand), if any.

The City of DeLand will, through the platting process, review and approve the operational and management protocols for the parks within Victoria Park. The City has determined that the recreational facilities contemplated by the Master Plan and this DPR comply with the City's recreational land use criteria as set forth in the City's LDR's. Substantial deviations from the Master Plan will require further review and approval of the City. The Activity-Based Park to be located parallel to Martin Luther King Boulevard will be planned and developed with an established priority of addressing the needs of the resident base living and projected to live within the Victoria Park development. The City will review and comment on the mix or recreational uses and facilities to be built within this park. The developer will plan and develop this Activity-Based Park so as to maximize the active recreational opportunities at this site, but nothing will preclude developer from developing the park in phases.

#### **3.3 Village Center and Linear Park**

The Village Center should have within its development envelope an area or areas that have a size, shape, and design to provide adequate space for outdoor concerts, exhibits, festivals and other community gatherings. The character of Founders Square is proposed as a shaded lawn area adequate to accommodate community gatherings, festivals and special events.

The Linear Park around the lake is intended to be developed with a soft, landscaped bank with pedestrian walkways. The lake edges around the lake will be informally landscaped. Hard or paved surfaces will be provided and these



## 3 ENVIRONMENTAL / OPEN SPACE / DEVELOPMENT STANDARDS

may include pedestrian and bicycle paths, boardwalks, and/or piers.

Motorized boating (except battery powered boats) is prohibited. No public boat ramps will be permitted on the lake and access will be administered and controlled by the Master Homeowners' Association.

### 3.4 Neighborhood Parks

Certain, but not necessarily all, of the neighborhoods will include small, passive Neighborhood Parks that provide these residential areas with a unique identity. Each Neighborhood Park will generally range from  $\frac{1}{4}$  to 1 acre in size but in certain instances a Neighborhood Park may be larger. It is intended that all residential areas be within a reasonable walking distance of a Neighborhood Park or have similar access to one or more portions of the Open Space System.

Neighborhood Parks will be designed as gathering places for residents. These will include places for strolling, sitting, and informal recreation such as block parties, picnics, holiday events and nature observation.

The Neighborhood Parks are intended for passive recreational uses. However, during the parks review process, the City and Developer may find that some of these parks are well suited to activity-based uses. These parks may include formal/informal gardens, children's play areas, walkways, fountains, park benches, and pedestrian-scale lighting. Activity-based facilities such as basketball, tennis, volleyball and the like may, be permitted in the Neighborhood Parks.

### 3.5 Resource-Based Parks

Enhancing the natural ecological system and developing linkages to these habitats (i.e., wetlands, scrubjay and sandhill crane habitats, long leaf pine habitats and the like) provides an opportunity to create passive recreational facilities in Victoria Park.

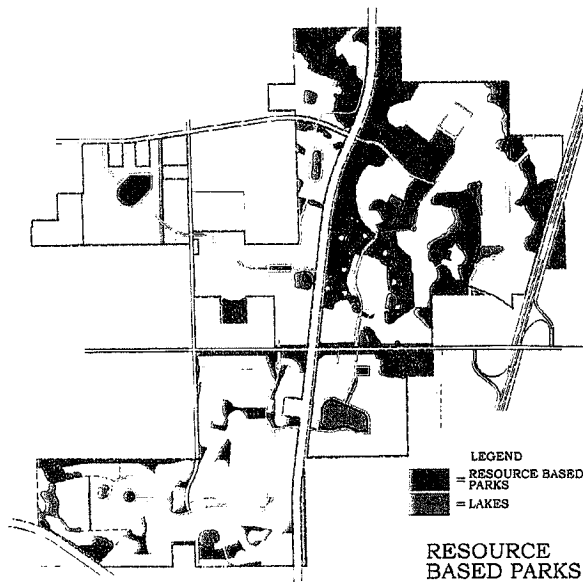
The following activities will assist in the development of the Resource-Based Parks:

- Educational opportunities provided through interpretive signage.
- Enhancement of public access through pedestrian ways and bicycle paths. The facilities should be barrier-free for handicapped and elderly accessibility.
- Maintenance of representative existing natural habitats.
- Protection of open space from incompatible land use.
- Protection of protected species and their habitat.
- Sound management of future development that protects natural resources.

These activities are intended to assist in the education of the public regarding the ecosystem to ensure the protection of natural open spaces for future generations. It is recognized that activities within the Resource-Based Parks will be controlled by various state and Federal permits issued to the developer and as such some or all of the foregoing objectives may be modified, and either reduced or

### 3 ENVIRONMENTAL / OPEN SPACE / DEVELOPMENT STANDARDS

enlarged in scope. The City will adhere to and be bound by the constraints imposed by the state and Federal regulatory authorities as the same are memorialized in the Site Mitigation and Management Plan approved by the St. Johns River Water Management District (SJRWMD) and the U.S. Army Corps of Engineers (ACOE). All Resource Areas, including preservation areas, upland buffers and mitigation areas shall be platted with development rights eliminated except as provided in the SMMP, the SJRWMD Environmental Resource Permit, ACOE Section 404 Permit and the City upon separate application. However, these areas may be accessed by walkways, trails and bikeways where such access is consistent with the maintenance of the ecological resource and its habitat values and not otherwise constrained by the SJRWMD Environmental Resource Permit and the ACOE Section 404 Permit.



#### 3.6 Activity-Based Parks

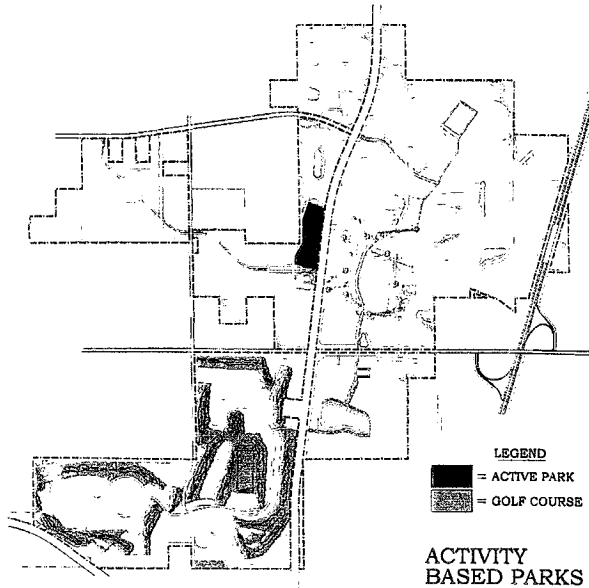
Activity-Based Parks may include, but are not limited to, facilities such as ball fields, basketball courts, soccer fields, tennis courts, swimming pools, hockey rinks and playground apparatus areas.

Some of these recreational facilities may be located within an Activity-Based Park conceptually planned along M.L. King Boulevard, and also in separate areas within the active-adult portion of the community. Additionally, it is anticipated that the developer, the City of DeLand and the Volusia County School Board will explore the feasibility of creating an additional Activity-Based Park at the rear of the elementary school located adjacent to Victoria Park on Blue Lake Avenue. These facilities, as described here, are intended to be illustrative of the currently proposed locations for such facilities, but it is recognized that other sites may emerge as the project develops over time. Activity-Based Parks should include landscape features that integrate them into the surrounding neighborhoods. Activity-Based Parks will be developed by the developer and owned, operated and maintained by either a homeowners' association or the City of DeLand.

Both the Championship Golf Course and the nine-hole golf course located in the northeast quadrant of the community are part of the Activity-Based Park system. These golf facilities will be owned, operated and maintained by the developer until otherwise

### **3 ENVIRONMENTAL / OPEN SPACE / DEVELOPMENT STANDARDS**

disposed of. If the developer elects to sell the golf course facility, the sale of the same shall be restricted so as to ensure the continued utilization of the space as a golf facility, whether private, semi-private or public.



#### **3.7 Landscaping and Vegetation Protection**

The objectives of the landscaping and vegetation protection activities associated with Victoria Park are outlined as follows:

- assistance in the preservation of state and Federally listed protected species.
- enhancement of the appearance of Victoria Park
- improvement of environmental quality;
- increased land values.
- promotion of water conservation;
- protection of the state and Federal regulated ecological conditions; and
- preservation of as much existing native vegetation as practicable.

These objectives are intended to provide an urban environment in harmony with the surrounding natural system. The Open Space System, as well as streetscapes and private properties, shall be developed according to project specific standards based on these objectives. The project standards encourage the seamless integration of Victoria Park's natural and urban landscapes.

These objectives will guide the development of landscape and vegetation protection standards for public and private open space. Site specific landscape standards are described in Section 9.

The previously described Site Mitigation and Management Plan (SMMP) ensures that wetlands, uplands and transition areas are applied to these landscape segments and are integrated throughout the site. The goals of the SMMP are to:

- comply with all local, state and Federal permit conditions regulating the resources under the jurisdiction of the various governments;
- provide for a richly diverse ecosystem based on the original natural mosaic of water, soils, plants, and animals on the site;
- conserve the use and retention of the site through a series of management protocols designed to insure that the wetlands and specific listed and unlisted species found

### **3 ENVIRONMENTAL / OPEN SPACE / DEVELOPMENT STANDARDS**

on the site have suitable habitats that are sustainable over time; and

- coordinate the management of the same with the ERP and Section 404 Permits applicable to the development.

In accordance with the Development Order, the SMMP will be submitted for review to the SJRWMD, the Florida Fish and Wildlife Conservation Commission, the ACOE and the U.S. Fish and Wildlife Service. Approval by those agencies as reflected in an issued ERP and Section 404 Permit shall be submitted to the City to be reviewed and adopted by the City and incorporated into the Development Order.

#### **3.8 Protecting Trees and Native Plant Communities**

This principle of protecting trees and native plant communities will be encouraged throughout the process of developing the site by employing the following activities:

##### **3.8.1 Landscape Assessment**

Existing vegetative cover has been assessed as to its health, value, and impact upon the proposed land development plan. The assessment has been made based on how these characteristics pertain to enhancing community appearance, assisting in the natural control of solar and radiant heat, promoting soil conservation, reducing flooding, air pollution, and noise. Particular attention has been given the location, species, size and status of tree stands. See Section 3.9.2 below. Based on the existing landscape assessment, the Landscaping

Standards have been developed to address strategies for utilizing existing plant material.

##### **3.8.2 Tree Protection**

By implementing the Master Plan and this DPR approximately 504 acres of Victoria Park will be preserved as ecological resource areas. This acreage will be subjected to and encumbered by a permanent Conservation Easement and/or subjected to a designation as a Conservation Area on plats to be recorded in the Public Records of Volusia County, Florida. The Landscape Standards further enhance the master planning approach by assuring the replacement and enhancement of the tree canopy. This approach recognizes the unique ecological contribution that trees of varying maturities make to the whole environment and seeks to ameliorate the negative impacts of favoring single tree specimens over specimen tree stands. This approach is more fully developed in Section 9.

#### **3.9 Vegetative Preservation and Enhancement**

The Landscaping Standards (Section 9) will describe a methodology for identifying tree replacement and enhancement.

The development of the site will impact existing plant material, including trees. The strategies used to enhance the landscape will be consistent with efforts to improve environmental quality on site. The strategies are outlined below.

## **3 ENVIRONMENTAL / OPEN SPACE / DEVELOPMENT STANDARDS**

### **3.9.1 Vegetation Enhancement**

Given the element of time and phasing of the development, various strategies will be investigated and implemented to enhance the on-site vegetation. Value engineering may result in the sale of existing plant material stock, the establishment of an on-site nursery, the contract growing of specific plant material, the requisition and purchase of new material stock, or the recycling of removed plant material in the form of mulch.

The plant palette described in Section 9 encourages the use of plant species native to the Central Florida region. These species are adapted to the regional climate and seasonal precipitation rates. Existing trees relocated on site should be relocated only to those areas that provide suitable growing conditions for that species. Additionally, any new plant material installed on site should be placed in suitable areas according to habitat requirements. The application of Xeriscape principles and other conservation techniques will be established in the Landscape and Vegetation Standards (Section 9) as a means of promoting water conservation and insuring that the vegetation is appropriate to the overall location of the project in Florida.

A planting plan will be established in accordance with the ecosystem approach to landscape design adopted for this site. This practice of respecting the habitat requirements of plant species is intended to ensure the growth of healthy vegetative communities, requiring a lesser amount of irrigation and relying over time on natural water resources.

### **3.10 Wetland Enhancement and Restoration**

Significant attention will be paid to the preservation and restoration of wetland systems. Strategies to enhance existing wetlands may include removal of exotic or invasive plant material species, preservation of unique plant material, augmentation of aquatic vegetation according to the recommended plant palette or the re-establishment of hydrologic connections between wetland areas, serving to improve wetland hydrology. All activities in wetlands shall be controlled by and subject to the permits obtained from state and Federal regulatory authorities under the ERP and Section 404 permit processes, respectively.

#### **3.10.1 Promoting Water Conservation**

Several wetland areas exist on site. These are predominantly in the northeast quadrant of Victoria Park. The plan to develop the Open Space System promotes improved environmental quality, which in turn promotes improved water quality and conservation.

#### **3.10.2 Wetland Assessment**

An assessment of on-site wetland systems has been completed in conjunction with the developer's compliance with the state and Federal wetland permitting protocols. The City recognizes that these wetland systems promote not only water quality but water conservation. The water filtrated through wetland vegetation is an important component in the maintenance of the natural ecosystem. If, as a part of the development of the stormwater management system, it is determined that opportunities exist to reconnect existing wetland communities,

### **3 ENVIRONMENTAL / OPEN SPACE / DEVELOPMENT STANDARDS**

then such reconnection will be done in a manner that is consistent with regulatory protocols of the state and Federal government.

#### **3.11 Providing a Haven for Wildlife**

Wetland vegetation provides habitat for a variety of wildlife. Efforts shall be made to preserve and encourage the presence of wildlife in natural areas onsite, and to the extent practicable, allow for their integration into the developed portions of the community.

##### **3.11.1 Maintenance and Enhancement of Wildlife Habitats**

As part of the SMMP a professional ecologist has assessed wildlife and their habitats in conjunction with the development of a plan for coordinating site use activities to provide a haven for the identified species consistent with state and Federal regulatory protocols. These are detailed in the SMMP. Strategies may include limiting human intrusion into natural areas, providing connections among natural areas that extend offsite and enhancing wildlife habitats on-site.

#### **3.12 Protecting, Endangered and Threatened Plant and Animal Species and Habitats**

A key natural feature of Victoria Park is the protection of listed threatened and endangered species and their habitats as the community develops. Strategies for protecting these species and their habitats have been developed and incorporated into the SMMP. The SMMP is intended to and will satisfy all regulatory requirements of local, state and Federal agencies having jurisdiction over the site and to be consistent with all local, state and Federal ecological permits required for the development of the site.



FRESHWATER MARSHES

### 3 ENVIRONMENTAL / OPEN SPACE / DEVELOPMENT STANDARDS



SANDPINE SCRUB



PINE FLATWOODS



PRAIRIE

### **3 ENVIRONMENTAL / OPEN SPACE / DEVELOPMENT STANDARDS**

#### **3.13 Native Landscape**

An ecosystem approach to landscape design will guide the landscaping of both public and private sites and is described in Section 9. The landscape strategy for the community will generally incorporate a plant palette that is consistent with the native plants and ecotones endemic to the site. These are characterized as follows:

- Freshwater marshes
- Long Leaf Pine
- Mixed-wetland forests
- Pine flatwoods
- Sandhill
- Sandpine Scrub
- Uplands with native canopy trees

These plant systems were identified in reports prepared by Modica & Associates and were peer reviewed by Hilburn Hillestad, Ph.D. They are described in more detail in the SMMP and the Landscape Standards contained in Section 9.

#### **3.14 Lakes**

Vegetated littoral edges around lakes will, in most instances, attract native wildlife and enhance water quality. To the extent practicable, and if consistent with regulatory protocols imposed through permit conditions imposed by the state and Federal regulatory authorities, littoral shelves may be a part of the project design.

Where pedestrian paths cross wetland areas, they should be constructed on elevated board walks or at the wetland edge to maintain hydrologic connectivity and wildlife access, but

only if permitted by and consistent with any permit conditions imposed by the state and Federal regulatory authorities in the issuance of the ERP and Section 404 permits.

Open water with varied depths provides the greatest number of possible habitat niches for wildlife. Where lakes are excavated, attention to the potential for this type of construction will be considered. Preservation of wetlands near excavated lakes should be preserved by preventing dewatering.

#### **3.15 Buffers and Visual Screening**

Landscaping will be used on site for both aesthetic and functional purposes that benefit the site, adjacent land uses and the preserve areas of the site. Buffers and screening may include trees, shrubs or hedges, grass or other living ground cover, berms, walls and/or fencing. The purposes for buffers and screens are multiple. First, they serve as buffers between varying land uses on and off site (i.e., where commercial office and residential communities meet), second, they facilitate transitions from one neighborhood to another while enhancing both and, third, they limit the visual and physical intrusions that may be perceived by persons residing in neighborhoods adjacent to the site.

Any techniques used will be developed such that they enhance the view on and off site. The landscape and vegetation protection standards developed for the site will include standards for land clearing, on site buffers, and buffers between the site and adjacent neighborhoods.



## **4 STREET AND ROADWAY STANDARDS**

	<b>Introduction</b>	
	<b>The Street System</b>	<b>4.1</b>
	<b>On-Street Parking</b>	<b>4.2</b>
	<b>Sidewalks</b>	<b>4.3</b>
	<b>Street Lighting</b>	<b>4.4</b>
	<b>Street Furnishings</b>	<b>4.5</b>
	<b>Traffic Calming</b>	<b>4.6</b>
	<b>Street Trees</b>	<b>4.7</b>
	<b>Median Planting</b>	<b>4.8</b>
	<b>Transit Service</b>	<b>4.9</b>
	<b>Bike Lanes</b>	<b>4.10</b>
	<b>Street Pavement Section Design Standards</b>	<b>4.11</b>
	<b>Long Term Maintenance of Streets; Public and Private</b>	<b>4.12</b>

## **4 STREET AND ROADWAY STANDARDS**

### **Introduction**

The following guidelines reflect standards for the street types to be incorporated into Victoria Park. These include: Boulevards, Village Center Streets, Residential Streets, as shown in Section 4.10 and Alleys at the end of Section 6.

#### **4.1 The Street System**

The concept for the local street system is a "soft" grid of streets that lead to lakes, Neighborhood Parks or other site specific features including the Open Space System. Connected streets and cul-de-sacs are provided for and permitted, but the overall concept contemplates interconnectivity, both internally and externally. It is recognized that site specific conditions, particularly environmental conditions will, in many instances, prevent connection. Curving geometry, interspersed with rectilinear forms, will create a balance of street forms and serve to create unique neighborhood identities that relate to the lake forms, Neighborhood Parks and the Open Space System. Streets may terminate with street vistas.

The streets within Victoria Park are intended to create a transportation framework that is easy to understand and links surrounding neighborhoods, each with the other so that residents and visitors can easily make their way throughout the community.

#### **4.2 On-Street Parking**

Streets will generally, but not uniformly, provide on-street parking. Parallel parking is permitted in the Village Center on all streets including, Main Street.

#### **4.3 Sidewalks**

In residential neighborhoods, sidewalks will generally be installed on each side of the street. In like manner, sidewalks in the Village Center will be located on both sides of the street. In the Village Center, street trees and furniture may be located within the sidewalk area. Within the Workplace, sidewalks will be a design element that will afford pedestrian access between and among the buildings constructed. The individual placement of sidewalks within the development will be reviewed concurrently with the processing of subdivision plans preparatory to platting.

Handicap access shall be provided on all approaches at all intersections and at all pedestrian crossing areas.

Sidewalks will be provided to connect residential neighborhoods to the Open Space System and the Village Center. Sidewalks may constitute a portion of the bikeway system in selected parts of the community. Such shared use facilities will be widened not to exceed eight (8) feet.

#### **4.4 Street Lighting**

The Developer will establish lighting standards for Victoria Park. So long as the lighting standards promote a lighting regime harmonious with Victoria Park planning vision and consistent with the established aesthetic priorities of Victoria Park, and meet the City's minimum standards for distance between lighting standards and the amount of light emitted unless under a separate application a different standard is to be applied, such a lighting regime will be deemed consistent with DeLand Standards. Detailed street lighting

## 4 STREET AND ROADWAY STANDARDS

plans will be submitted as part of the platting process.

### 4.5 Street Furnishings

Benches, trash receptacles, and other street furnishings will be provided in the Village Center, the Workplace and Neighborhood Parks. They may be provided in other sections of the community and will be maintained by a homeowner's association.

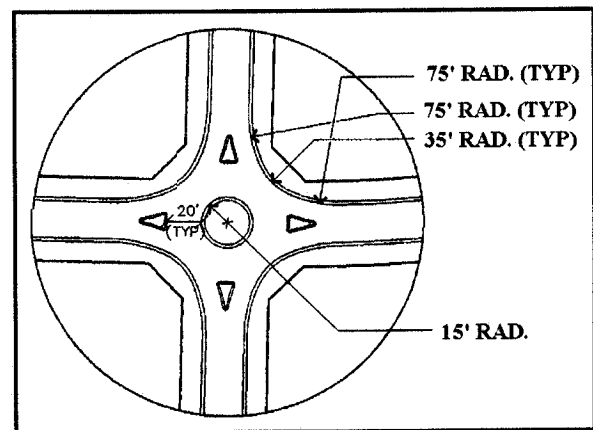
### 4.6 Traffic Calming

"Traffic Calming" is a term used to describe the slowing of vehicular speeds and in some cases, the reduction in traffic volume along certain streets. Speed may be controlled or influenced by a number of measures. The following traffic calming methods may be incorporated in the community where needed, but this list is illustrative only and other devices not listed but recognized to accomplish the same purpose may also be employed:

- bump outs
- change in street surface texture or material
- clear signage
- on-street parking
- optical street width reduction such as street trees, median plantings, paving patterns, street lights and street furniture
- pedestrian operated signals at crossings
- roundabouts
- smaller building setbacks

- stop signs
- traffic circles

In addition to providing traffic calming within the community, several of these devices also are intended to reduce the distance necessary for pedestrian crossings and to enhance the attractiveness of walking. All such devices must be engineered and constructed to allow the efficient utilization of the same by emergency vehicles.



NEIGHBORHOOD ROUNDABOUT  
SECTION

### 4.7 Street Trees

On Boulevards and Village Center Streets, trees should be installed when the streets are built. On Residential Streets, trees will be installed as neighborhoods are developed. The selection of tree species will coincide with the native tree types used on DeLand streets generally and will be designed to replace those that are lost in the development process. Palm trees may be used but should generally be concentrated in groupings and used as decorative accents in the landscape. See Section 9 for controlling protocols.

## **4 STREET AND ROADWAY STANDARDS**

### **4.8 Median Planting**

The median plantings are intended to provide seasonal color and act as a buffer between traffic lanes. The plant material may include a mixture of shade and ornamental trees and shrubs in varying sizes. All plants will be at a clear distance from intersections to minimize driver and pedestrian sight line conflicts. All median plantings will be maintained by a homeowner's association.

### **4.9 Transit Service**

Presently no transit serves the area of Victoria Park.

Notwithstanding the absence of present transit service, all of the Boulevards and Residential streets will be designed to accommodate public buses or other types of rubber tired transit vehicles. In coordination with the City and the Volusia County Transit Authority, the developer should plan for location and ultimate construction of various transit stops in the development of site plans preliminary to platting

### **4.10 Bike Lanes**

Bicycle lanes will be constructed on the streets as noted in the diagrams shown in Section 4.11 and as shown on the Bicycle and Pedestrian Trail System Plan at page 4-14. The on-site bicycle system shall be connected into any proximate external bicycle systems existing at the time of construction. Bicycle lockers or bicycle racks shall be constructed where necessary to augment the operation of transit services on site. Appropriate signage identifying bicycle routes will be installed. Public access to bicycle lanes and trails shall

be permitted in all sections of Victoria Park except the Northeast Quadrant of the community or the Active Adult section, where access to bicycle lanes and trails will be restricted to the residents of the Active Adult community of Victoria Park. Bikeways, trails, roadways and sidewalks are also to be used to help with the internal interconnection of the various open spaces.

### **4.11 Street Pavement Section Design Standards**

At the end of this section are diagramed the various street profiles contemplated for and authorized and permitted to be developed in Victoria Park. Street profiles to be selected for construction will be detailed and submitted to the City during the subdivision and plat review process, including traffic calming devices, street lights, street trees, median plantings and bicycle lanes. However, where curb radii are proposed to be less than the City's established standard of twenty-five (25) feet, the Developer will provide handicapped accommodations at the intersections, prohibit parking within fifteen (15) feet of the intersection and eliminate from the intersection storm drainage infrastructure.

### **4.12 Long Term Maintenance of Streets; Public and Private**

Street and roadway systems, including bike lanes, sidewalks and traffic control devices, to the extent the same are within the dedicated public right-of-way, shall be conveyed to the City of DeLand, or its designee, and shall be maintained by the City of DeLand in accordance with its standard maintenance protocols. Street lights, landscaping within a dedicated right-of-way, including street trees

## **4 STREET AND ROADWAY STANDARDS**

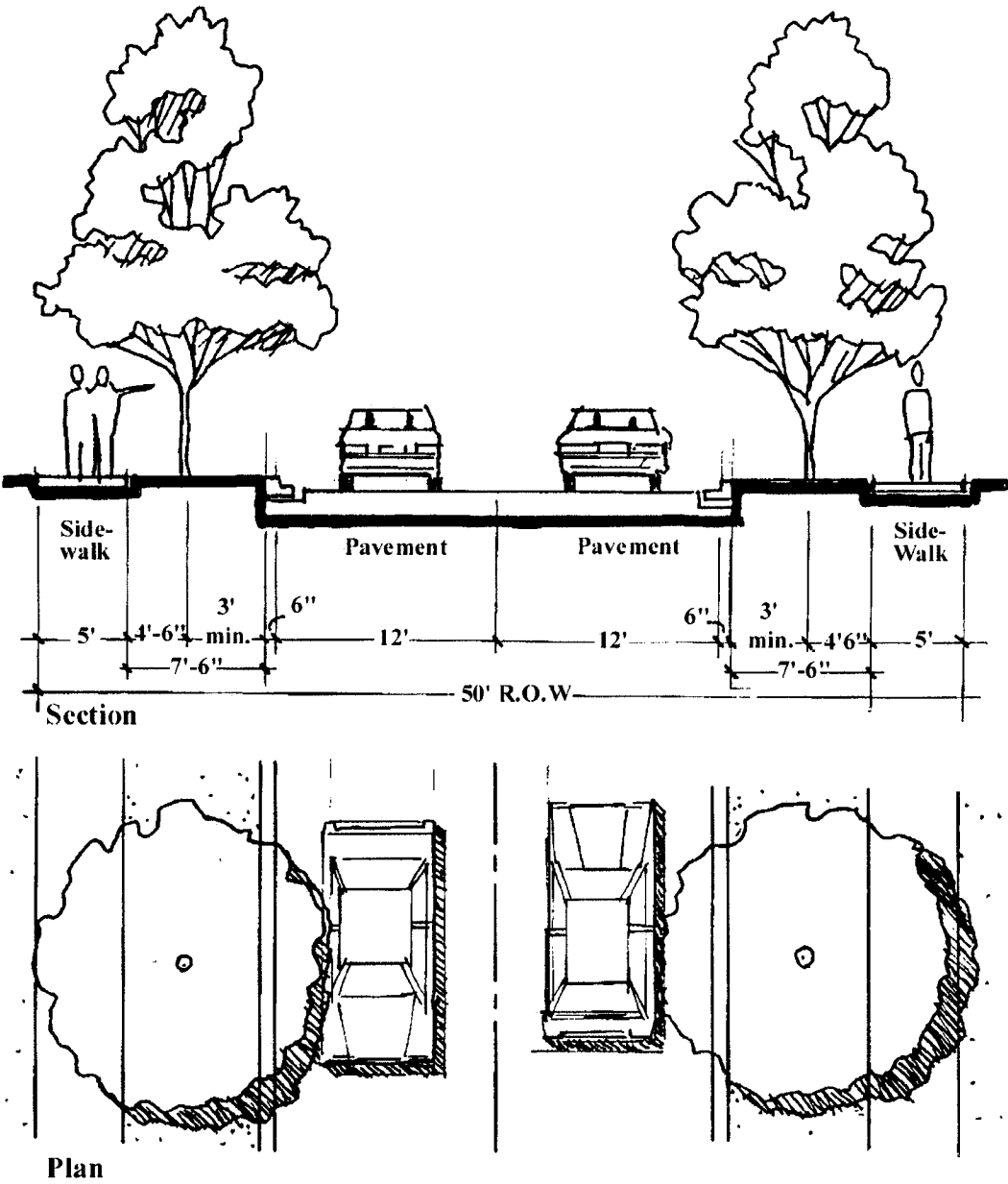
and street furnishings shall be maintained by the developer or its successor-in-interest, including without limitation, a Master Homeowners Association, a Neighborhood Homeowners Association, a Chapter 190 F.S. Community Development District or a MSTU. The maintenance of street lights shall include the operational costs of the same.

As and to the extent the street and roadway systems within Victoria Park are developed and operated as "Private Streets", then the street and roadway systems, including bike lanes, sidewalks, traffic control devices, street lights, landscaping within the street right-of-way, including street trees and street

furnishings will be maintained by the developer or its successor-in-interest, including without limitation, a Master Homeowner's Association. Private Streets shall be developed using the criteria specified in this Section 4 and appropriate easements and/or right-of-way agreements, acceptable to the City, over, across and under such Private Streets shall be provided at the time of plat approval to insure that the purveyors of city services and utilities can be assured a right of access over, across and under the same.

Alleys, as permitted in Section 6, shall be treated as Private Streets.

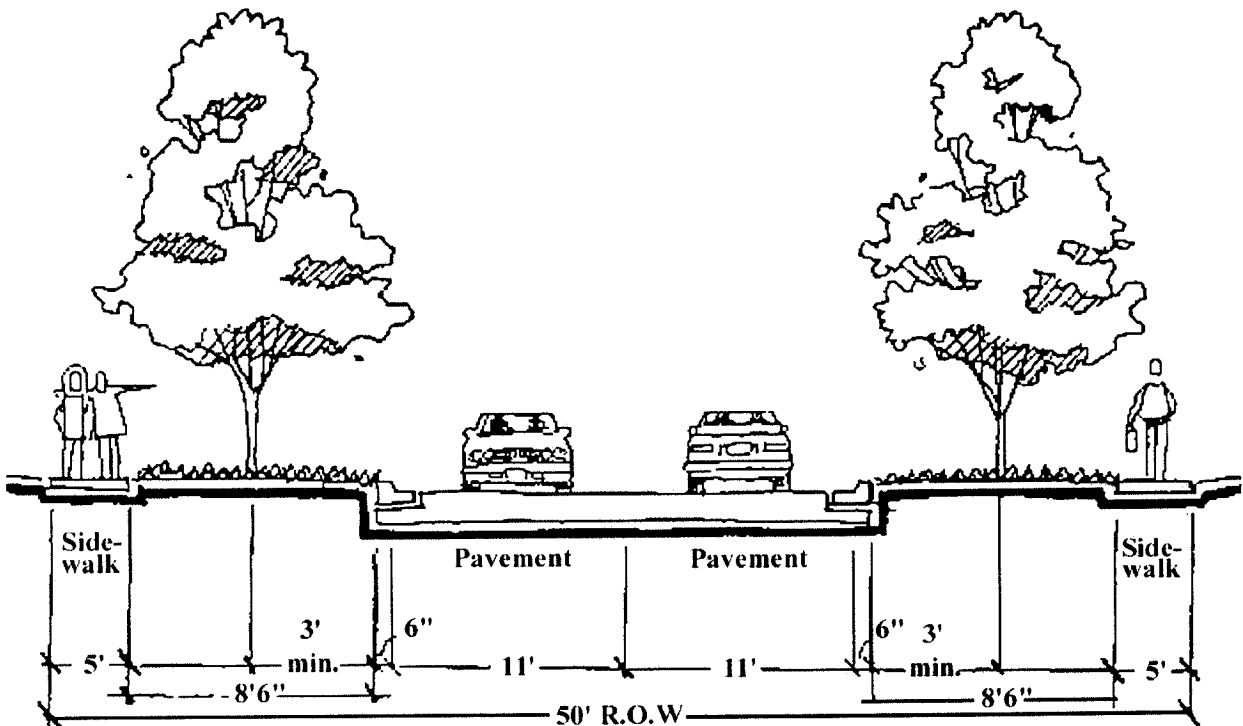
4 STREET AND ROADWAY STANDARDS



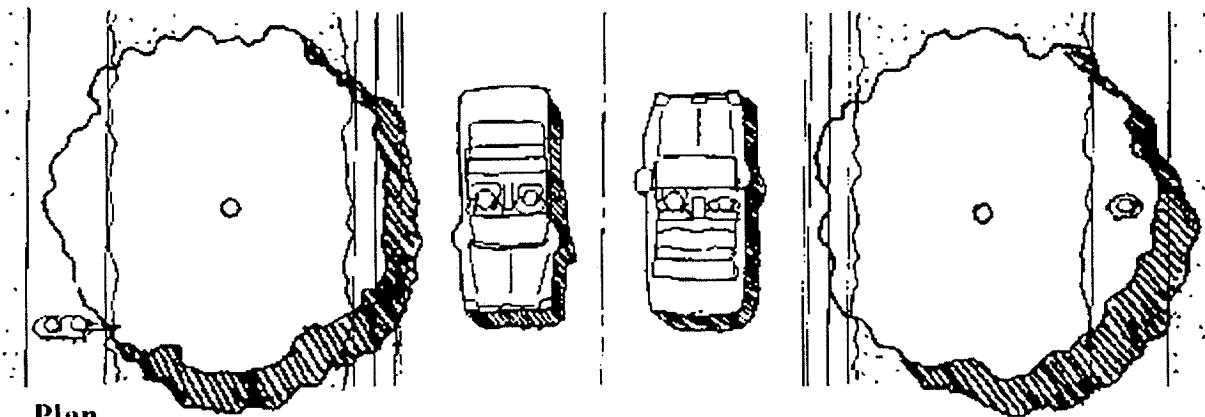
**Residential Street B**  
**W / Parking**

R.O.W. Width	50'
Face of Curb to Face of Curb	24'
Traffic Lanes	Two Way
Traffic Lane Width	12' Min
Sidewalk Width	5' min.
Curb Radius	15'
Street Tree Spacing	60' O.C. max.
Minimum Landscape Area	4'-6"

# 4 STREET AND ROADWAY STANDARDS



Section



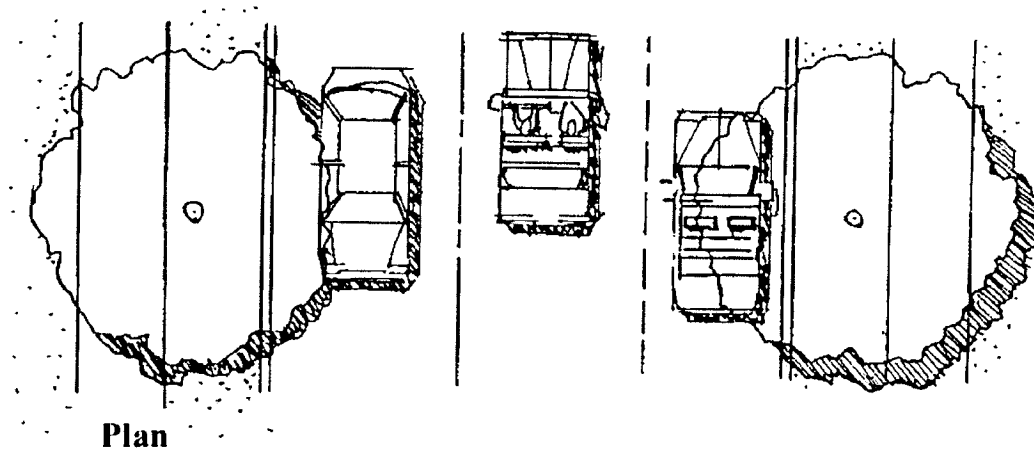
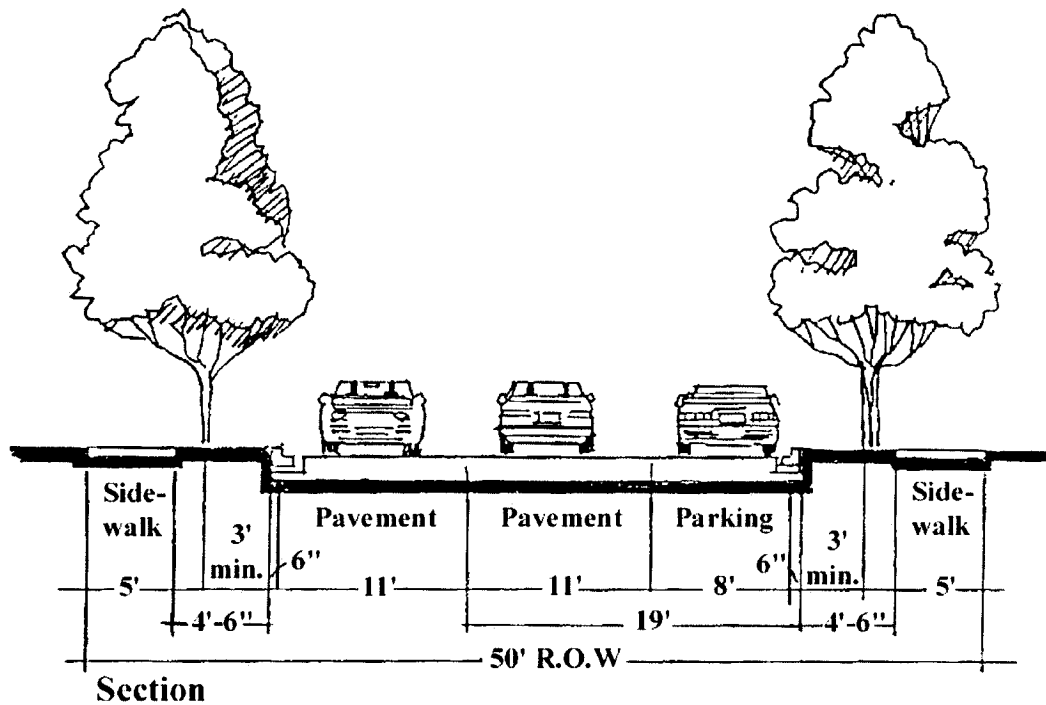
Plan

## Residential Street C

No Parking

R.O.W. Width	50' min.
Face of Curb to Face of Curb	22'
Traffic Lanes	Two Way
Traffic Lane Width	11' Min
Parking Lanes	None
Sidewalk Width	5' min.
Curb Radius	15'
Street Tree Spacing	60' O.C. max
Minimum Landscape Area	4'-6".

## 4 STREET AND ROADWAY STANDARDS

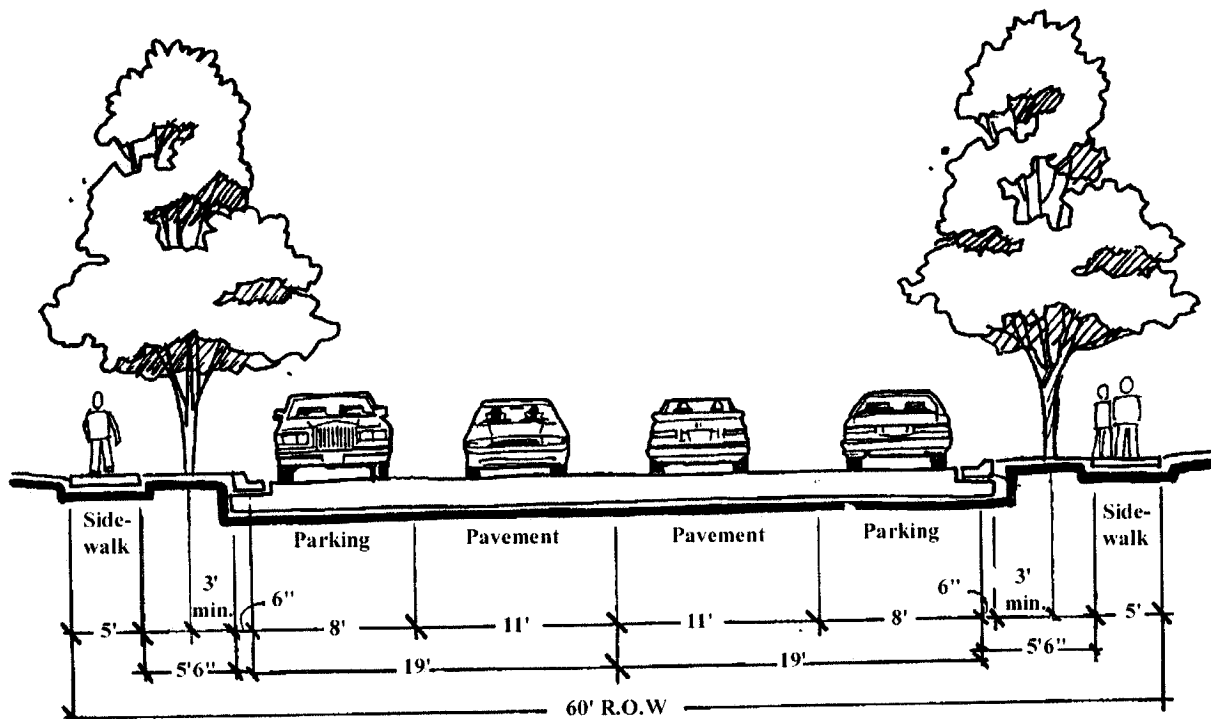


### Residential Street D w/Designated Parking on One Side

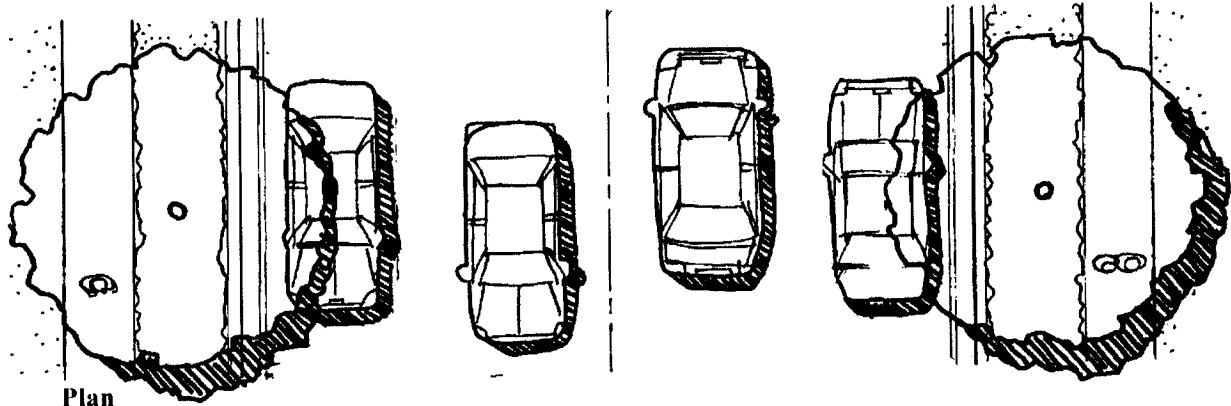
R.O.W. Width	50' min.
Face of Curb to Face of Curb	30'
Traffic Lanes	Two Way
Traffic Lane Width	11' Min
Parking Lanes	One Side
Parking Width	8'
Sidewalk width	5' min.
Curb Radius	15'
Street Tree Spacing	60' O.C. max
Minimum Landscape Area	4'-6"



# 4 STREET AND ROADWAY STANDARDS



Section

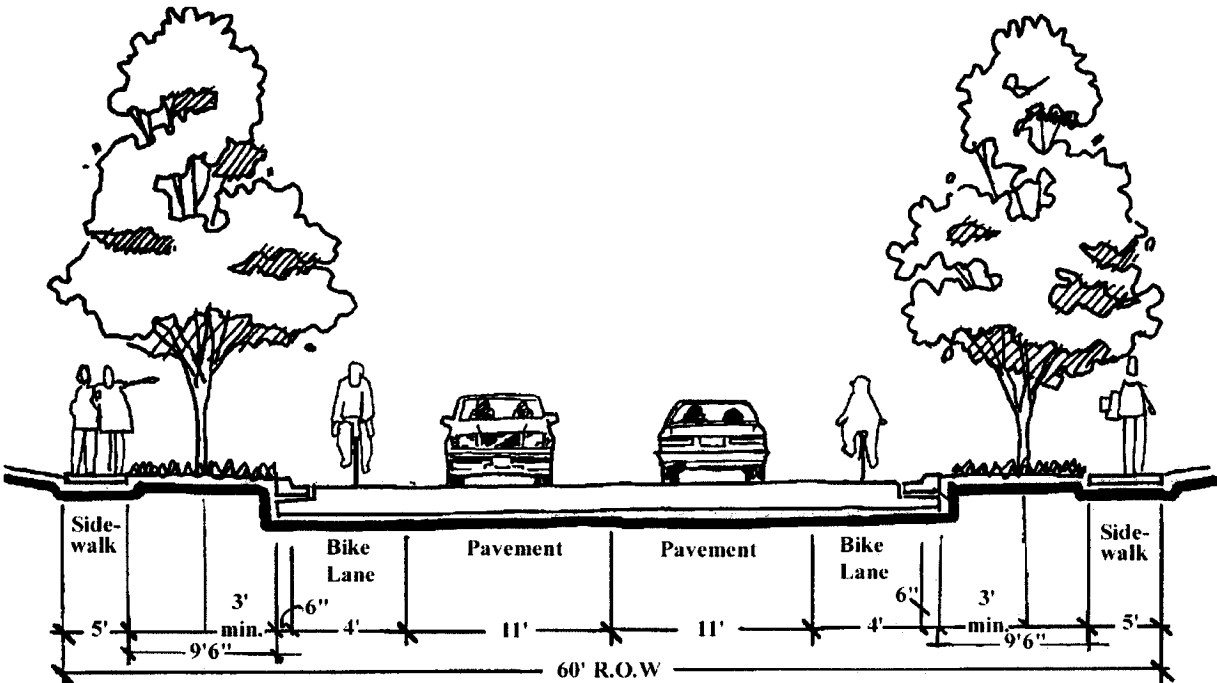


Plan

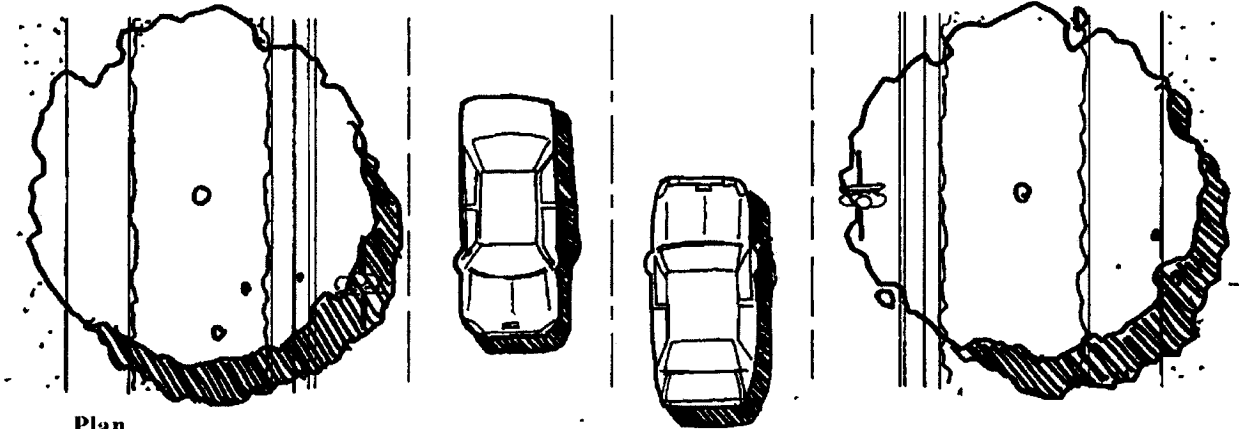
## Residential Street E w/Parallel Parking

R.O.W. Width	60'
Face of Curb to Face of Curb	38'
Traffic Lanes	Two Way
Traffic Lane Width	11'
Sidewalk Width	5' min.
Parking Lanes	Both Sides
Parking Lane Width	8'
Curb Radius	15'
Street Tree Spacing	60' O.C. max.
Minimum Landscape Area	4'-6"

4 STREET AND ROADWAY STANDARDS



Section

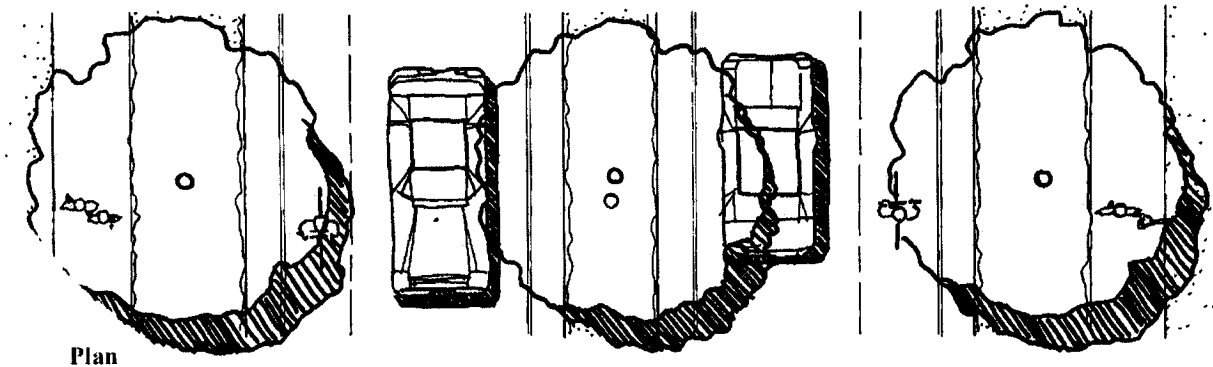
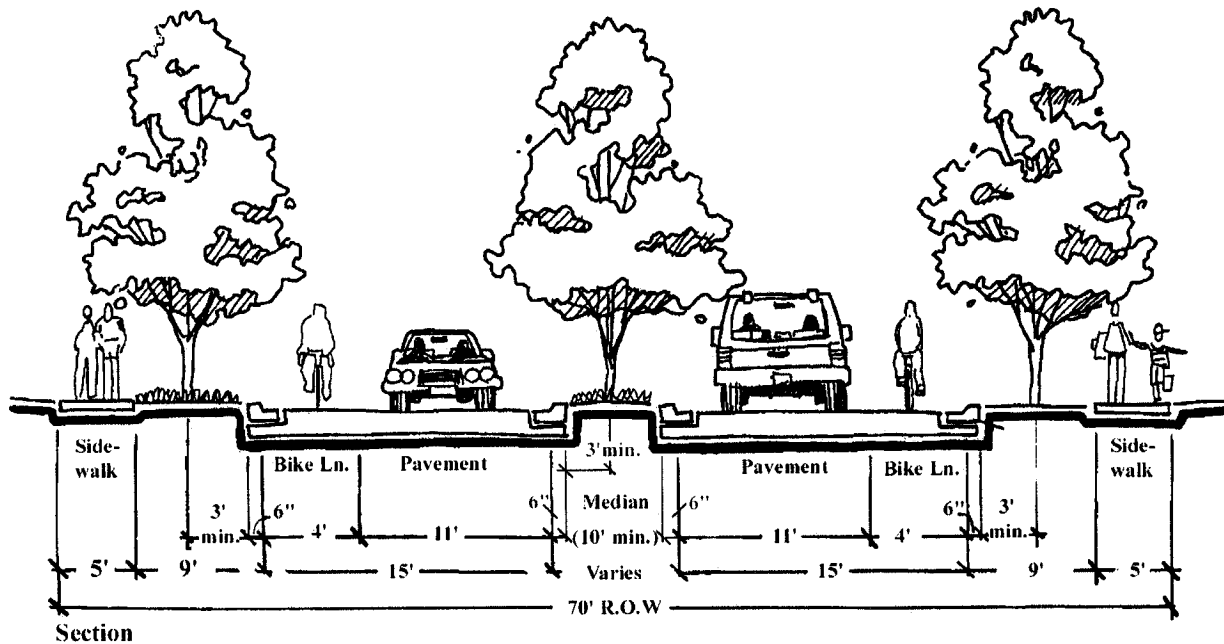


Plan

**Residential Street F**  
**w/Bike Lanes**

R.O.W. Width	60' min.
Face of Curb to Face of Curb	30'
Traffic Lanes	Two Way
Traffic Lane Width	11' Min
Parking Lanes	None
Sidewalk Width	5' min.
Curb Radius	15'
Bike Lane Width	4'
Striping	No
Street Tree Spacing	60' O.C. max.
Minimum Landscape Area	4'-6"

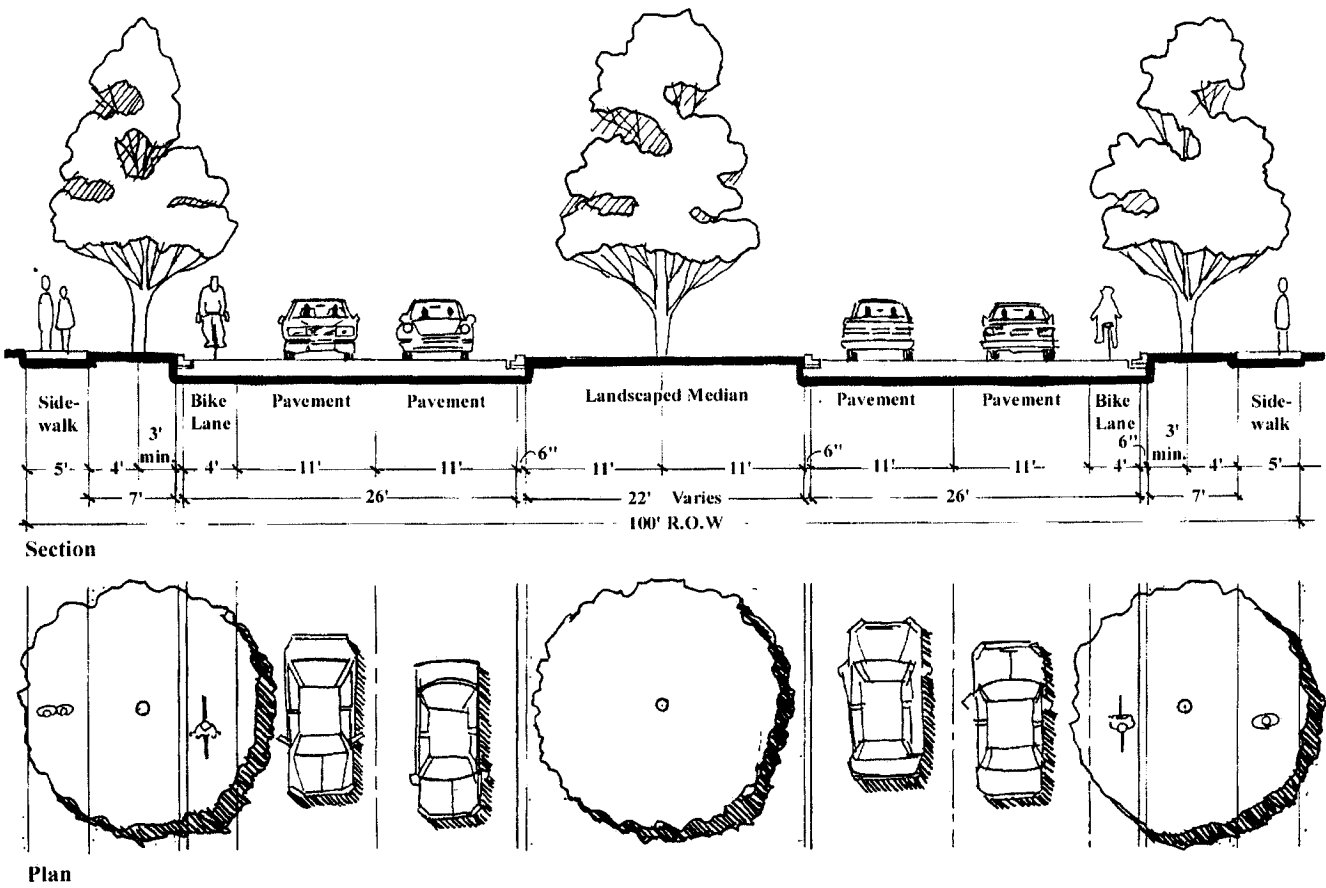
## 4 STREET AND ROADWAY STANDARDS



### Boulevard A w/Bike Lanes

R.O.W. Width	70' min.
Face of Curb to Face of Curb	15'
Traffic Lanes	Two-One-Way Lanes
Traffic Lane Width	11' min
Sidewalk Width	5' min.
Parking Lanes	None
Median Width	10' min.
Curb Radius	15'
Bike Lane Width	4'
Street Tree Spacing	60' O.C. max.
Minimum Landscape Area	4'-6"

4 STREET AND ROADWAY STANDARDS

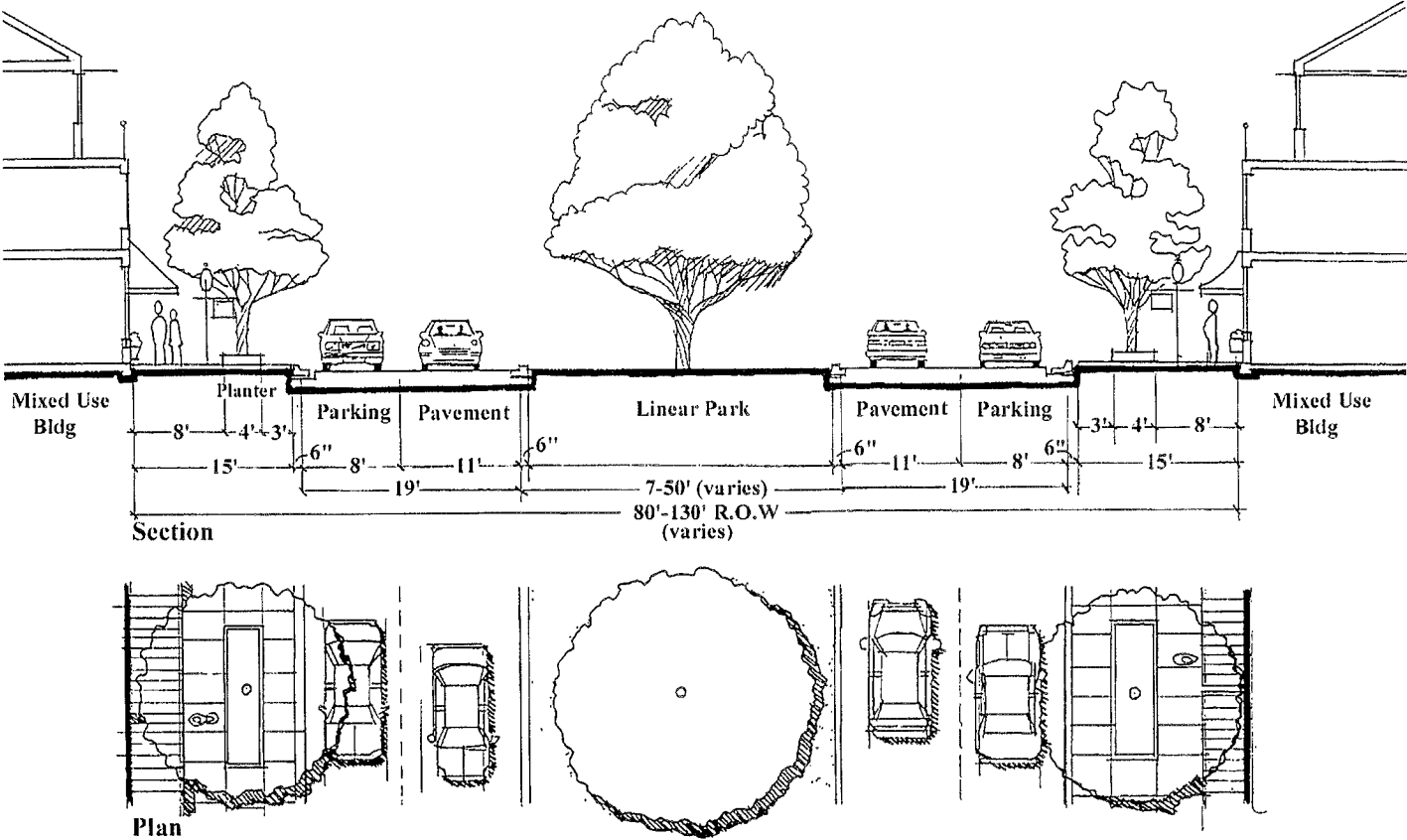


**Boulevard B**  
w/Bike Lanes

R.O.W. Width	Varies
Face of Curb to Face of Curb	26'
Traffic Lanes	Two-One-Way Lanes
Traffic Lane Width	22' Min
Sidewalk Width	5' min.
Parking Lanes	None
Median Width	22'
Curb Radius	15'
Bike Lane Width	4'
Street Tree Spacing	60' O.C. max.



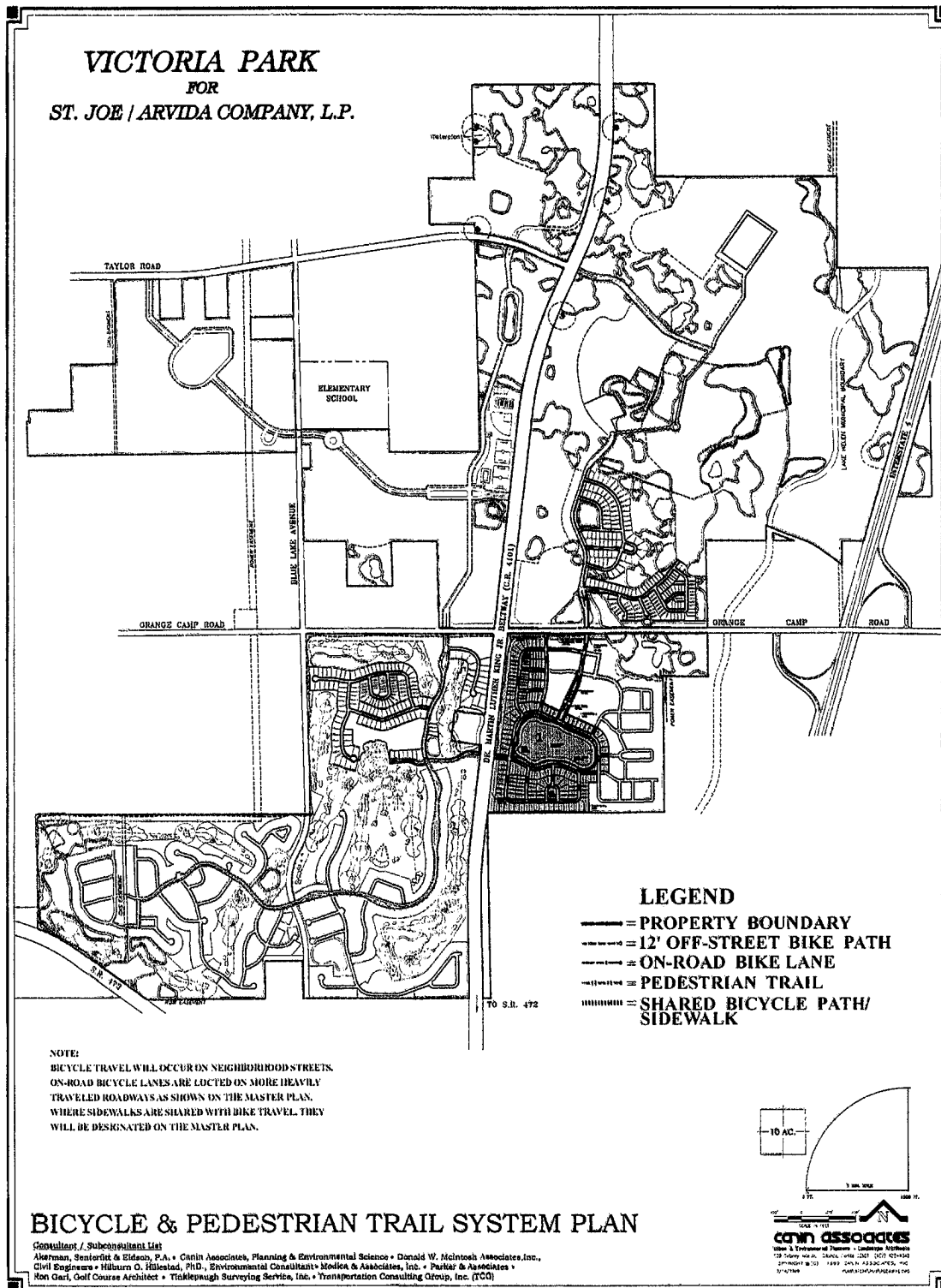
4 STREET AND ROADWAY STANDARDS



**Village Center Street B**  
**w/Linear Park &**  
**Parallel Parking on Both Sides**

R.O.W. Width	Varies.
Face of Curb to Face of Curb	19'
Traffic Lanes	Two-One-Way Lanes
Traffic Lane Width	11' Min
Sidewalk Width	6' min.
Parking Lanes	Each Side
Parking Width	8'
Median Width	Varies
Curb Radius	15'
Bike Lanes	No.
Street Tree Spacing	60' O.C. max.
Face Bldg. / Face Curb	8' Min.

# 4 STREET AND ROADWAY STANDARDS



**5 VILLAGE CENTER  
DEVELOPMENT STANDARDS**

<b>Key Elements</b>	<b>5.1</b>
<b>Illustrative Village Center Program</b>	<b>5.2</b>
<b>Village Center Character</b>	<b>5.3</b>
<b>Building Placement</b>	<b>5.4</b>
<b>Orientation to the Street</b>	<b>5.5</b>
<b>Placement of Entrances</b>	<b>5.6</b>
<b>Building Expression</b>	<b>5.7</b>
<b>Parking Locations</b>	<b>5.8</b>
<b>Service Access</b>	<b>5.9</b>
<b>Service Location</b>	<b>5.10</b>
<b>Development Block</b>	<b>5.11</b>
<b>Architectural Standards</b>	<b>5.12</b>
<b>Landscape Standards</b>	<b>5.13</b>
<b>Permitted Uses</b>	<b>5.14</b>
<b>Prohibited Uses</b>	<b>5.15</b>
<b>Parking</b>	<b>5.16</b>



## 5 VILLAGE CENTER DEVELOPMENT STANDARDS

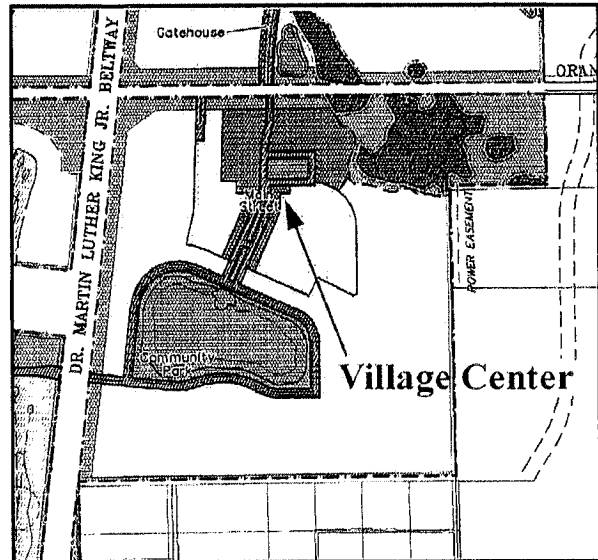
### 5.1 Key Elements

The general intent of the Guidelines for the Village Center is to encourage the development of a vital, pedestrian-oriented district that can support a variety of residential, retail, commercial and entertainment uses.

The key elements proposed in the Village Center include the following:

#### Mix of Uses

Street-oriented retail, office and restaurants with residential or office space above will face commercial streets. Note however that commercial uses are not limited to ground floor spaces and may, in selected circumstances, occupy second floor spaces within the Village Center. Big Box retail development defined as stand alone retail facilities that exceed 25,000 square feet of air conditioned space is not permitted in the Village Center. As a general proposition, the uses and configuration of the Village Center will be a function of the size of



the development as a whole. It should have a series of interconnected streets that create a walkable environment with a distribution and mix of uses. As a guideline and to insure a diversity of uses within the Village Center, planning should contemplate, but will not require, that the following mix and distributions of uses be considered:

USE	MINIMUM	MAXIMUM
Residential	25%	45%
Office	10%	25%
Commercial Retail and Services	20%	60%
Overall Business	30%	60%
Public and Civic	10%	No Max.
Parks and Open Space	5%	No Max.

## 5 VILLAGE CENTER DEVELOPMENT STANDARDS

### Public Spaces

The Village Center is to be oriented around a Main Street that leads to a lake. The Village Center includes Founders Square, a park oriented as a primary gathering space for the community. Main Street will lead to a lake that will feature pedestrian walk ways around the perimeter of the lake and tie back into the Main Street of the Village Center.

### Urban Design Character

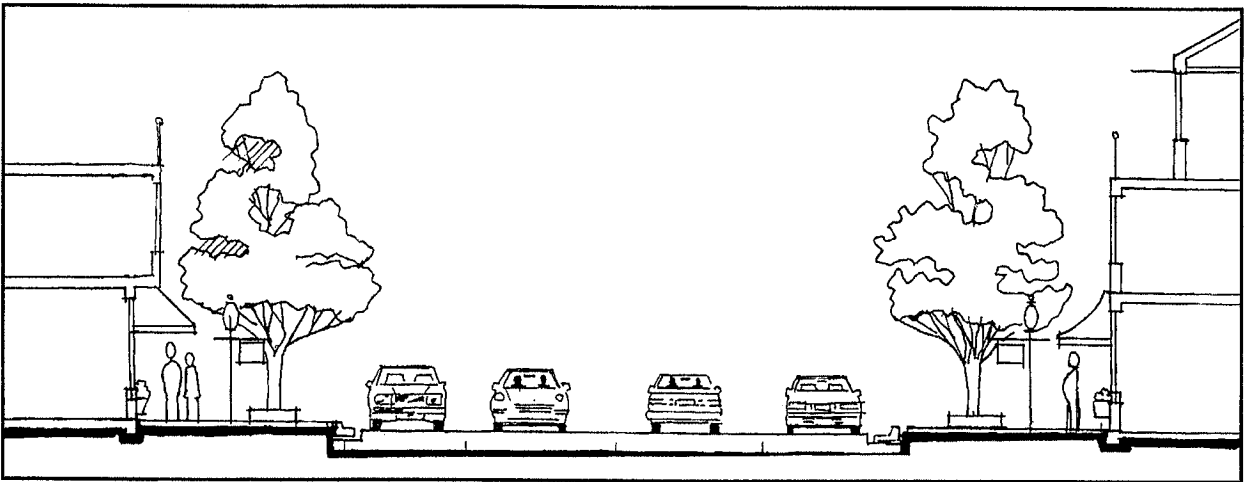
All buildings and entrances will orient to Main Street. To reinforce the pedestrian-oriented character, the buildings may be built to a build-to-line that is established at the interior sidewalk edge. This is not intended as a limiting concept, but as a grant of authority. Within this area the developer may also place buildings off of the sidewalk edge in an effort to provide aesthetic diversity.

### Housing

Mixed-use buildings, with apartments above, are anticipated along Main Street and other streets in the Village Center Area. Additionally, apartments that also go to the street level may be developed in the Village Center. For this purpose, the term "apartments" is intended to be any type of multi-family housing product that might be found in an urban center of a community, it being recognized that this type of housing is typically of higher density.

### Grocery

A local grocery store may be integrated into the development along Main Street as demand and market conditions dictate.



Typical Cross Section

## **5 VILLAGE CENTER DEVELOPMENT STANDARDS**

### **Pedestrian Connections**

Key pedestrian paths are proposed to connect the Village Center to and along waterfront edges and through the Open Space System. Additionally, the pedestrian system is intended to connect the Village Center to the residential portions of Victoria Park.

### **Transit Connections**

The transportation plan anticipates the coordination and confluence of a variety of modes of transportation, i.e., walking, bicycling, automotive and bus, to occur in the Village Center. Appropriate provision for the utilization of transit, including shelters, should be a part of the site plan approval process for this section of the community. Within the Village Center provision will be made to accommodate bicycle storage through the organized placement of bicycle racks.

### **5.2 Illustrative Village Center Program**

This illustrative program reflects anticipated development. Actual development may vary depending on market conditions but will be compatible with the intent of this PD zone.

### **5.3 Village Center Character**

- Buildings are oriented towards the street with main entrances and/or windows facing the street.
- Parking may occur at the front of the building, but the bulk of the parking is encouraged to be to the rear of the building in order to maintain pedestrian-friendly street edges.

- Service areas should be placed away from the addressing street and screened from view.

### **5.4 Building Placement**

Buildings are encouraged to have a clear relationship to the street. Buildings sited close to the street strengthen the activity and vitality of the street. On larger parcels with multiple street frontage, buildings should also address secondary streets.

### **5.5 Orientation to the Street**

All buildings are encouraged to reinforce the street framework by locating the "main" building facade either parallel or perpendicular to the street. Buildings placed at irregular or random angles to the street may be included but should not be the dominant theme. Similarly, multiple building complexes are encouraged to maintain a consistent street orientation. Buildings may also reinforce the curved nature of streets. Buildings can be removed from the street edge, so long as that orientation is not a dominant theme and the space between the front of the building and the street is integral to the architecture of the building or made a part of the public street scene. It is intended that buildings within the Village Center and the spaces around them be a part of the public space.

### **5.6 Placement of Entrances**

Building entrances should be visible from the street; well-lit, and easily accessible by employees and visitors. Entrances should be conveniently located and adjacent to on and off street parking. Canopies, lighting, and roof

## **5 VILLAGE CENTER DEVELOPMENT STANDARDS**

forms will generally identify entrances. Through-lobbies or breezeways that address both the street and parking lots are permitted.

### **5.7 Building Expression**

Building are encouraged to have consistent window expressions visible from the street. A "punched" window expression is encouraged. Large expanses of glass curtain walls are discouraged as being generally inconsistent with the Village Center theme, but are not prohibited. Streetside, windowless building elevations are also discouraged. Buildings should express a clear base, middle and top with sloping roofs or strong cornice lines. Sloping roofs are encouraged at strategic locations, such as corners, mid-block entries etc.

### **5.8 Parking Locations**

Parking with clear and convenient access for visitors and employees from the addressing streets is required. A landscape zone and/or low screenwall is encouraged between parking lots and secondary streets.

### **5.9 Service Access**

Access to visitor/employee parking and service areas shall be clearly marked from the Village Center streets. Parking areas should have distinct access routes to allow for clear circulation within the site.

### **5.10 Service Location**

Service and loading activities should occur at the rear or side yard of the building, and should be screened from public view.

Building service areas oriented away from major streets are encouraged. Service areas should be screened by landscaping or walls of a material compatible with the exterior wall of the main building so that the visual elements remain seamless.

### **5.11 Development Block**

- Block size may vary. Actual sizes will be determined during preliminary and final plat review.
- Small block size is generally to be encouraged in order to create a more intimate, pedestrian scale in the Village Center, but the area can have a variety of sizes based upon market conditions and ultimate uses.
- Pedestrian courtyards. Small pedestrian courts and pedestrianways fronted by retail storefronts are permitted.

### **5.12 Architectural Standards**

- The ground floor elevation should achieve significant transparency (more than 40%) while above ground floor elevations may achieve more limited transparency.
- The intent is to provide elements of street friendly intimacy at ground level with required privacy at above ground floor elevations.
- Buildings in the Village Center are limited to fifty (50) feet in height.

## **5 VILLAGE CENTER DEVELOPMENT STANDARDS**

- Drive-through facilities are prohibited for all eating and drinking establishments.
- Drive-through facilities will be limited to drug and bank and savings institution use. However, these may only be located at the rear of a building, in a parking lot or in a parking garage. Drive-throughs may only be accessed via service streets, parking lots or parking garages.
- Impervious surface within the Village Center may be as much as eighty-five (85%) percent.

### **5.13 Landscape Standards**

- See Section 9.

### **5.14 Permitted Uses**

#### **Commercial**

- Branch Hospitals and Clinics including Small Animal Veterinary Clinic
- Convenience store
- Eating and drinking establishments, (outdoor dining and sidewalk café seating will be allowed along Village Center sidewalks)
- Family day care center
- Sale of alcoholic beverages in conjunction with eating and drinking establishments.
- Any other similar commercial use

Community Related uses including the following:

- Civic Clubs
- Clubhouses
- Community Centers
- Fire Station
- Law enforcement
- Meeting halls
- Municipal or government buildings
- Museums and galleries
- Performing arts auditoriums and facilities
- Post Office
- Public safety office
- Public Libraries
- Public parks and plazas
- Public restroom facilities
- Recreation centers
- Religious institutions
- Schools
- Any other similar civic use

#### **Office**

Business or Professional Offices including the following (Primary use):

- Accounting, tax and bookkeeping
- Architectural, engineering, planning and surveyors
- Business consulting
- Counselors and family services
- Dental and medical
- Estate, trusts planning and management
- Governmental
- Holding and Investments
- Legal services
- Management consulting
- Property Management
- Public relations

## 5 VILLAGE CENTER DEVELOPMENT STANDARDS

- Real estate, rental services
- Security and commodity brokers
- Temporary professional
- Title Company and sales/information center
- Any other similar office use

### Recreation (Indoor use):

- Clubs and lodges
- Theaters
- Any other similar recreation use

### Residential

- Accessory apartment or cottage
- Adult Congregate Living Facility
- Attached housing (including above ground floor commercial and office uses).
- Garage apartment
- Model
- Nursing Home
- Residential-Office mixed development
- Any other similar residential use

### Retailing, Light

#### Specialized Retail including the following:

- Antique shops
- Appliance stores
- Art/craft/hobby stores
- Bakery, retail
- Bank and savings institutions
- Bicycle shops
- Bookstores
- Clothing stores
- Computer store and service
- Department stores
- Design center

- Drug stores
- Furniture stores
- Florist
- Gift shops
- Groceries
- Hardware stores
- Jewelry stores
- Kitchen store
- Liquor stores
- Luggage stores
- Music stores
- Newsstands
- Office supplies
- Optical goods, eyeglass stores
- Paint and wallpaper stores
- Pet stores
- Photo stores
- Plumbing fixtures
- Radio stores
- Specialty shops
- Stationary stores
- Tobacco stores
- Television stores
- Video store
- Any other similar retail use

### Service, Personal

#### Personal Service Shops including the following:

- Appliance services
- Barber shops
- Beauty shops
- Dance studios
- Duplicating services
- Dry cleaning (no cleaning on premise)
- Health spas
- Physical fitness facilities
- Photographic studios
- Radio repair

## **5 VILLAGE CENTER DEVELOPMENT STANDARDS**

- Shoe repair
- Tailoring
- Television repair
- Veterinary Clinic
- Watch and clock repair
- Any other similar service use

### **Service, Business (Primary use)**

- Answering service
- Court reporter service
- Decorating service
- Secretarial service
- Stenographer service
- Software-program development
- Translator
- Writing and resume service
- Any other similar service use

### **Other Uses**

- Art festivals (occasional use)
- Bed and breakfast
- Open air markets (occasional use)
- Service, entertainment
- Street vending (occasional use)

### **5.15 Prohibited Uses**

#### **Commercial**

- Adult entertainment facilities
- Entertainment services
- Plasmapheresis facilities
- Recreational Vehicle Park
- Vertiports
- Whole blood facilities
- Dialysis center
- Any similar commercial use

### **Recreation (Indoor Use)**

- Amusement center
- Discotheques and dance halls
- Game Room
- Skating rinks
- Shooting range
- Any similar recreation use

### **Residential**

- Emergency shelter
- Emergency shelter home for children
- Group housing
- Mobile home dwelling
- Treatment and Recovery facilities
- Any similar residential use

### **Retailing, Intensive**

- Utility trailer rental
- Vehicle Sales and rental
- Any similar retailing use

### **Retailing, Light**

#### **Specialized Retail including the following:**

- Retail building materials
- Retail plant nurseries
- Small equipment rental
- Any similar retailing use

### **Service, Personal**

- Body piercing establishments
- Funeral Homes
- In-House carpet servicing
- Tattoo parlors
- Any similar service use

## 5 VILLAGE CENTER DEVELOPMENT STANDARDS

Service, Business (Primary use)

Additional Prohibited Uses

- Agriculture
- Billboards
- Communication Towers
- Escort Services
- Industrial use
- Junk yard
- Manufacturing and processing, Heavy
- Manufacturing and processing, Light
- Service, Intensive
- Service, Passenger Vehicle/Major Vehicle Repair

### 5.16 Parking

- The following minimum parking requirements are established:

Hotel - 0.75 / room

Office - 4 / 1,000 GSF

Multi-family - 1.5 / unit avg.

Single Family Detached - 2 / unit avg.

Commercial - 1 / 1,000 GSF avg.

The developer may request reduced parking ratios in mixed land use projects where shared parking is feasible.

- Tandem parking is allowed in residential areas
- On street parking may be used to meet parking requirements.
- On-street parking will be permitted on all streets in the Village Center.

- Parking lots shall be developed behind buildings.
- Parking lots shall not be adjacent to Main Street or the Founders Square frontages.
- Shared parking lots, easily accessible from service streets may occur.
- Shared parking-decks, accessible from the service streets of the Village Center, are also permissible.
- Exterior wall materials for parking-decks should be compatible with the exterior wall materials utilized for adjacent buildings.
- Street frontages for parking-decks will incorporate either liner buildings or landscaping, including trees and shrubbery, to create a soft planting edge compatible with the adjoining street landscape.
- Compact car spaces are permitted within the Village Center provided they are not less than 8' x 18' and do not constitute more than seven (7%) percent of the total parking spaces provide in any one section of the Village Center. All other parking spaces will be 9' x 19'.



## **6 NEIGHBORHOOD RESIDENTIAL DEVELOPMENT STANDARDS**

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### **II. DETACHED HOUSING RESIDENTIAL GUIDELINES**

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## **6 NEIGHBORHOOD RESIDENTIAL DEVELOPMENT STANDARDS**

### **6.1 Key Elements**

Residential neighborhoods should be developed to reflect the character and quality of traditional neighborhoods. Each neighborhood should be distinctive in its vision and yet all neighborhoods should address the Open Space System. Only the active-adult segment of the community located in the Northeast quadrant of the community will have limited access.

#### **Mix of Uses**

All residential neighborhoods may have a mix of housing, civic uses and recreational facilities.

#### **Public Spaces**

All residential neighborhoods should have a point of access to either a Neighborhood Park or to an Activity-Based Park or some of the Open Space System. Most streets will be lined on both sides with sidewalks. Street trees and continuous landscaped parkways should be incorporated into the design.

#### **Urban Design Character**

Residences within Victoria Park should have a primary orientation to the street or the Open Space System. Deep setbacks from the street will be the exception, although permitted, particularly where created by unusual conditions (i.e. existing trees) or other site conditions that compel more design flexibility. Garages may for example (1) orient to rear alleys, (2) set back from the face of the building if they address the street or (3) be parallel to the front of the building with adjustments among these choices to be allowed

as shown on attached exhibits. It is the intention of this ordinance to create a flexible set of protocols to insure a diversity of housing types. Variety is intended to create visual interest and pedestrian friendly streets that encourage walking.

#### **Residential Streets and Access**

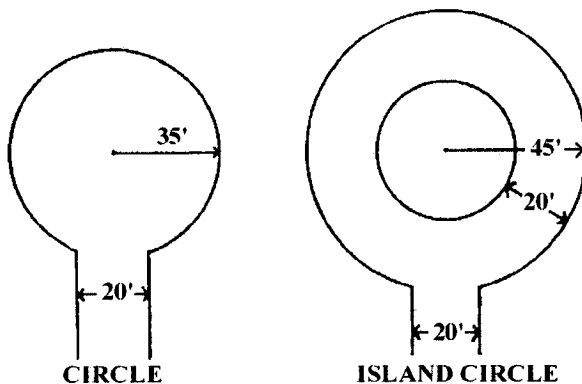
Neighborhoods will connect to each other, to the Open Space System and to the Village Center.

In most instances streets will be continuous rather than ending in cul-de-sacs but cul-de-sacs of various lengths are anticipated and permitted. Cul-de-sacs may exceed 500 ft. in length provided that where they are longer than 500 ft. additional fire hydrants as are deemed necessary by the City's Fire Marshall are installed with the cul-de-sac. Additionally, if a cul-de-sac street exceeds 1,000 feet in length, the Developer will provide alternative emergency access to the cul-de-sac street such that emergency fire and rescue equipment have alternative access to the cul-de-sac street. Such alternative access shall consist of a 20 foot wide area that is appropriately stabilized to support a 20 ton emergency vehicle. The alternative access area may be grassed, but must not have impediments to access and must be marked at the entrance with a distinctive landscape feature recognizable by City and county emergency crews. The alternative access areas may be secured by a crash gate. All cul-de-sac streets will be developed minimally as Type "B" Residential Streets with a clear turning diameter of 65 feet.

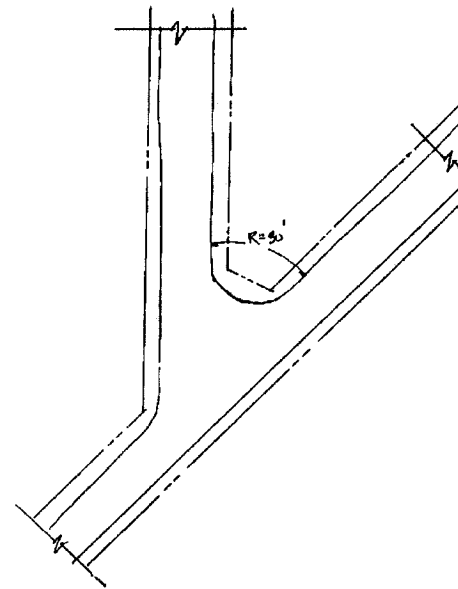
## 6 NEIGHBORHOOD RESIDENTIAL DEVELOPMENT STANDARDS

### Street End Designs

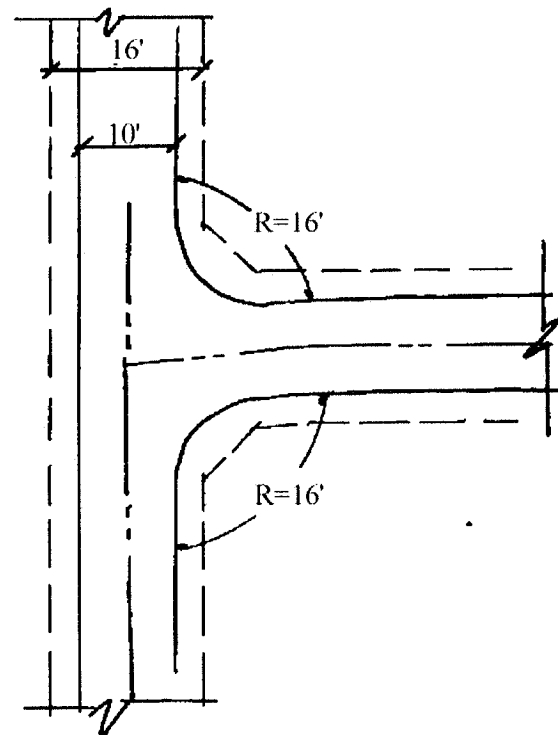
Because streets are designed to be relatively narrow and to promote a pedestrian and bicycle friendly environment the variety of "street end designs" shown here are permitted in Victoria Park. Street end designs selected for construction will be detailed and submitted to the City during the subdivision and plat review process. In order to manage traffic flow and preserve the character of the community within Victoria Park, speed limits may be less than would otherwise be typical on similar streets elsewhere in DeLand.



Typical Cul-de-Sac Turnarounds  
(Illustrative of typical pavement width)



Varied Road Intersection

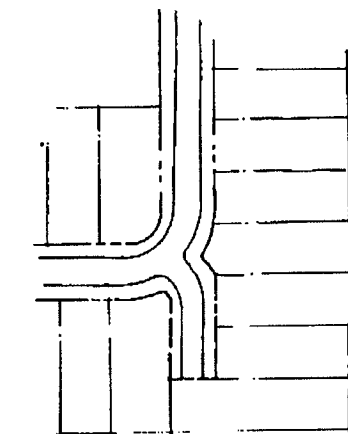
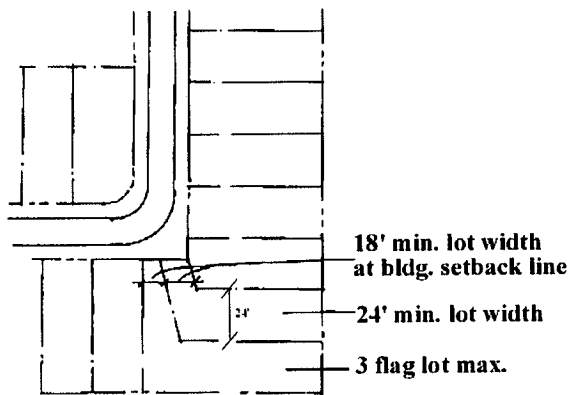


Lane Turning  
Radius Section

## **6 NEIGHBORHOOD RESIDENTIAL DEVELOPMENT STANDARDS**

### **Lots and Blocks**

- **Lot Size.** The minimum lot size shall be twenty-four (24) feet in a subdivision.
- **Flag Type Lots.** Flag lots shall be designed to minimize safety problems. No more than three (3 ) flag lots should be located adjacent to each other. The minimum width for the narrow extension of the lot to the road shall be eighteen (18) feet.



Shared Driveway

### **6.2 Development Blocks**

#### **Attached and Detached Housing**

- Maximum block size shall vary. The geometry of the block sizes will be submitted with the preliminary site plan preparatory to final platting.

Detached housing should to the greatest extent possible orient the house to the front street so that pedestrian travel affords the potential for resident interaction.

### **6.3 Development Standards**

The Development Standards for both Attached and Detached Housing in Victoria Park are described and shown in a series of renderings, cross-sections and plan views (at the end of this section) together with tables that permit various building setbacks for primary residential buildings, garages, accessory buildings and porches. Residential neighborhoods should include a variety of dwelling types to provide opportunities for different age and income groups within an integrated and diverse community. Efforts should be made to integrate a variety of dwelling types so as to avoid rigid segregation of dwelling types by price point within the community. To accommodate that diversity each of the various lot sizes, building setbacks, porches, pool setbacks and encroachment setbacks set forth in the following Detached Housing Residential Guidelines and illustrated in the Plan and Isometric Views are authorized and permitted within Victoria Park. Lot sizes selected for development will be detailed and submitted to the City during the subdivision and plat review process.

## **6 NEIGHBORHOOD RESIDENTIAL DEVELOPMENT STANDARDS**

### **6.4 Landscape Standards**

- See Section 9.

### **6.5 Permitted Uses**

#### **Civic**

Community Related uses including the following:

- Churches
- Civic and institutional
- Clubhouses
- Community centers
- Fire Station
- Law enforcement
- Post offices
- Public Libraries
- Public parks and plazas
- Recreational centers
- Any other similar civic uses

#### **Residential**

- Accessory apartment or cottage
- Adult Congregate Living Facility
- Assisted Living
- Attached housing (including above ground floor commercial, office and retail uses)
- Detached housing
- Family day care home
- Garage apartment
- Model

#### **Other Uses**

- Art festivals (occasional use)
- Bed and breakfast
- Open air markets (occasional use)
- Storage facilities for recreational vehicles, boats, trailers and the like, provided that if

such facilities are proposed to be located so that they abut residential areas outside of Victoria Park, the boundary area will be buffered and screened.

### **6.6 Prohibited Uses**

#### **Commercial**

- Adult entertainment facilities
- Auto Service Station
- Entertainment services
- Hospitals and clinics
- Hotel/motel
- Parking garages and lots (principal use)
- Plasmapheresis facilities
- Recreational Vehicle Park
- Recreational use, outdoor
- Vertiports
- Whole blood facilities
- Any similar commercial use

#### **Office**

Business or Professional Offices including the following (Primary use)

#### **Recreation (Indoor Use)**

- Amusement center
- Bowling lanes
- Billiard parlor
- Cell Tower
- Clubs and lodges
- Discotheques and dance halls
- Game Room
- Skating rinks
- Shooting range
- Theaters
- Any similar recreation use

## **6 NEIGHBORHOOD RESIDENTIAL DEVELOPMENT STANDARDS**

### **Residential**

- Community Residential Home
- Emergency shelter
- Emergency shelter home for children
- Group housing
- Mobile home dwelling
- Nursing home
- Treatment and Recovery facilities
- Any similar residential use

### **Retailing, Intensive**

- Utility trailer rental
- Vehicle sales and rental
- Any similar retailing use

### **Retailing, Light**

### **Specialized Retail including the following:**

- Appliance stores
- Art stores
- Banks and savings institutions
- Bicycle shops
- Department stores
- Drug stores
- Furniture stores
- Gift shops
- Groceries
- Hardware stores
- Jewelry stores
- Liquor stores
- Luggage stores
- Music shops
- Office supplies
- Paint and wallpaper
- Photo stores
- Plumbing fixtures
- Radio stores
- Retail Building materials
- Retail plant nurseries

- Small equipment rental
- Specialty shops
- Television stores
- Any other similar retail use

### **Service, Personal**

- Appliance services
- Automobile quick-wash
- Body piercing establishments
- Duplicating services
- Funeral Homes
- Health spas
- In-House carpet service
- Massage establishments
- Tattoo parlors
- Veterinary clinic
- Any other similar service use

### **Service, Business (Primary use)**

### **Additional Prohibited Uses**

- Agriculture
- Billboards
- Communication Towers
- Escort Services
- Industrial use
- Junk yard
- Manufacturing and processing, Heavy
- Manufacturing and processing, Light
- Service, Entertainment
- Service, Intensive
- Service, Passenger Vehicle/Major Vehicle Repair

## **6 NEIGHBORHOOD RESIDENTIAL DEVELOPMENT STANDARDS**

### **6.7 Parking**

- On-street parking may occur on all neighborhood streets.
- Each single family residential unit will be provided a minimum of two (2) off street parking spaces.
- Tandem parking is allowed.

### **I. ATTACHED HOUSING RESIDENTIAL GUIDELINES**

#### **6.8 Building Placement**

As a general rule buildings should be built out to the build-to line, with parking internalized to avoid surface parking between buildings and the street to the fullest extent possible. This criteria should not be interpreted as an absolute as flexibility in design is to be encouraged consistent with the overall vision for Victoria Park.

#### **6.9 Placement of Main Entrances**

Main building entrances or individual unit entrances should be visible from the street, well lit and easily accessible, but this criteria is not intended to be rigorously applied and should not preclude entry court yards consistent with appropriate architectural design or side entrances in appropriate circumstances. The intention is to have a variety of options that allow market responsiveness and aesthetic diversity within the community

#### **6.10 Building Expression**

Large buildings should be expressed so that the mass is broken up. Roof forms and facades would, therefore accentuate smaller unit massing. Buildings are encouraged to have consistent window expressions. A "punched" window expression is encouraged, but need not be uniformly required.

#### **6.11 Secondary Structures**

Porches or decks may be located within the buildable area in the front, side or rear of the primary structure and will be constructed consistent with the setbacks described in the Detached Housing Residential Guidelines contained on page 6-9 unless a porch is constructed in the rear of a unit, in which event it will not extend beyond the overall buildable area. Garages should be located within the buildable area in the rear of the primary structure, although where a garage can be accommodated on the front of the primary structure, this is permissible where the overall design and location within the community suggests it as appropriate.

#### **6.12 Mixing Project Types**

Combining a variety of attached housing types creates diversity on a residential block.

#### **6.13 Parking**

Parking for attached housing units may generally be provided by an enclosed garage, or screened parking area, accessed from a rear alley or side street, but parking in the front is not precluded.

## **6 NEIGHBORHOOD RESIDENTIAL DEVELOPMENT STANDARDS**

### **6.14 Corner Conditions**

Facades of the primary building should be located along both the front and side setback lines, and within the specified buildable area.

### **6.15 Trash, Waste and Recycling Containers**

Trash and waste containers should be located within the garage and/or an area in the rear yard of the primary building and screened from public view. Dumpsters are permitted with appropriate screening.

### **6.16 Swimming Pools**

Pools can be located in the designated buildable area provided however, no pools can be built between the front of the residential structure and the street.

## **II. DETACHED HOUSING RESIDENTIAL GUIDELINES**

### **6.17 Building Placement**

Detached housing should, to the greatest extent possible, orient the house to the front street so that pedestrian travel affords the potential for resident interaction.

Like the attached housing product, the intent is to create neighborhoods that orient the house to the front street so that pedestrian travel affords the potential for resident interaction.

### **6.18 Driveways**

Excessively wide driveways are generally inconsistent with the overall vision for the community, but are not prohibited where lot size and product type within a market segment make such features responsive to the market. This approach is consistent with providing diversity in the housing

### **6.19 Garage Options**

A variety of garage placements is encouraged to provide diversity throughout the community. Garage setbacks shall conform to the Single Family Standard Lot Criteria Matrix.

### **6.20 Accessory Units**

Accessory units are encouraged over garages located at the rear of a residential lot, but are not required. Accessory units can either be a dwelling unit above a garage or an additional structure on a detached housing lot such as a casita. These units may include kitchen and bath facilities and, so long as they are metered for sewer, water and electricity on a common meter, they will not be counted towards the total allowable density permitted in Victoria Park.

### **6.21 Roof Type**

Roof types shall compliment the roof type of the principle building and may be hipped, gabled or flat with a parapet.



## **6 NEIGHBORHOOD RESIDENTIAL DEVELOPMENT STANDARDS**

### **6.22 Trash, Waste and Recycling Containers**

Trash and waste containers shall be located within the garage and/or an area in the rear or side yard.

### **6.23 Swimming Pools**

Pools can be located in the designated buildable area provided however, no pools can be built between the front of the residential structure and the street.

# 6 NEIGHBORHOOD RESIDENTIAL DEVELOPMENT STANDARDS

## DETACHED HOUSING - RESIDENTIAL GUIDELINES

### A - SINGLE-FAMILY LARGE LOT CRITERIA MATRIX

Lot Type	Approximate Lot Size	Residential Building Setbacks					Garage Setbacks					Porches		Pool Setbacks	
		Front	Side	Side Corner	Side Portico	Side (Zero Lot)	Side	Side (Zero Lot)	Side Corner	Rear Lane 2/	Rear	Front	Side Corner	Front	Rear
A1	(66'-70') x 100' Min.	10' Min.	5' Min.	10' Min.	5' Min.	N/A	D	E	N/A	5' Min.	15' Min.	G	H	8' Min.	5' Min.
A2	(71'-100') x 100' Min.	10' Min.	5' Min.	10' Min.	5' Min.	N/A	5' Min.	5' Min.	10' Min.	5' Min.	15' Min.	15' Min.	3' Min.	8' Min.	5' Min.
A3	(>100') x 100' Min.	10' Min.	10' Min.	15' Min.	8' Min.	N/A	8' Min.	15' Min.	10' Min.	5' Min.	15' Min.	15' Min.	12' Min.	8' Min.	5' Min.

### B - SINGLE-FAMILY STANDARD LOT CRITERIA MATRIX

Lot Type	Approximate Lot Size	Residential Building Setbacks					Garage Setbacks					Porches		Pool Setbacks	
		Front	Side	Side Corner	Side Portico	Side (Zero Lot)	Side	Side (Zero Lot)	Side Corner	Rear Lane 2/	Rear	Front	Side Corner	Front	Rear
B1	(48'-49') x 90' Min.	5' Min.	5' Min.	10' Min.	3' Min.	0' & 10'	D	E	0' & 10'	5' Min.	15' Min.	G	H	3' Min.	5' Min.
B2	(50'-54') x 90' Min.	5' Min.	5' Min.	10' Min.	3' Min.	0' & 10'	3' Min.	3' Min.	10' Min.	5' Min.	15' Min.	15' Min.	3' Min.	3' Min.	5' Min.
B3	(55'-65') x 90' Min.	5' Min.	5' Min.	10' Min.	3' Min.	0' & 10'	3' Min.	3' Min.	10' Min.	5' Min.	15' Min.	15' Min.	3' Min.	3' Min.	5' Min.

### C - SINGLE-FAMILY SMALL LOT CRITERIA MATRIX

Lot Type	Approximate Lot Size	Residential Building Setbacks					Garage Setbacks					Porches		Pool Setbacks	
		Front	Side	Side Corner	Side Portico	Side (Zero Lot)	Side	Side (Zero Lot)	Side Corner	Rear Lane 2/	Rear	Front	Side Corner	Front	Rear
C1	(24'-29') x 80' Min.	5' Min.	3' Min.	3' Min.	N/A	0' & 3'	D	E	0' & 3'	5' Min.	10' Min.	N/A	3' Min.	3' Min.	N/A
C2	(30'-39') x 90' Min.	5' Min.	5' Min.	5' Min.	N/A	0' & 5'	5' Min.	5' Min.	10' Min.	5' Min.	10' Min.	N/A	3' Min.	3' Min.	5' Min.
C3	(40'-45') x 90' Min.	5' Min.	5' Min.	5' Min.	N/A	0' & 5'	5' Min.	5' Min.	10' Min.	5' Min.	10' Min.	15' Min.	3' Min.	3' Min.	5' Min.

**NOTE:** All setbacks are measured from principal structure to property line, unless otherwise noted.

<sup>1/</sup> Where zero lot line architecture is utilized, 1 setback will be 0'.

<sup>2/</sup> Rear lane garage setbacks measured from edge of pavement.

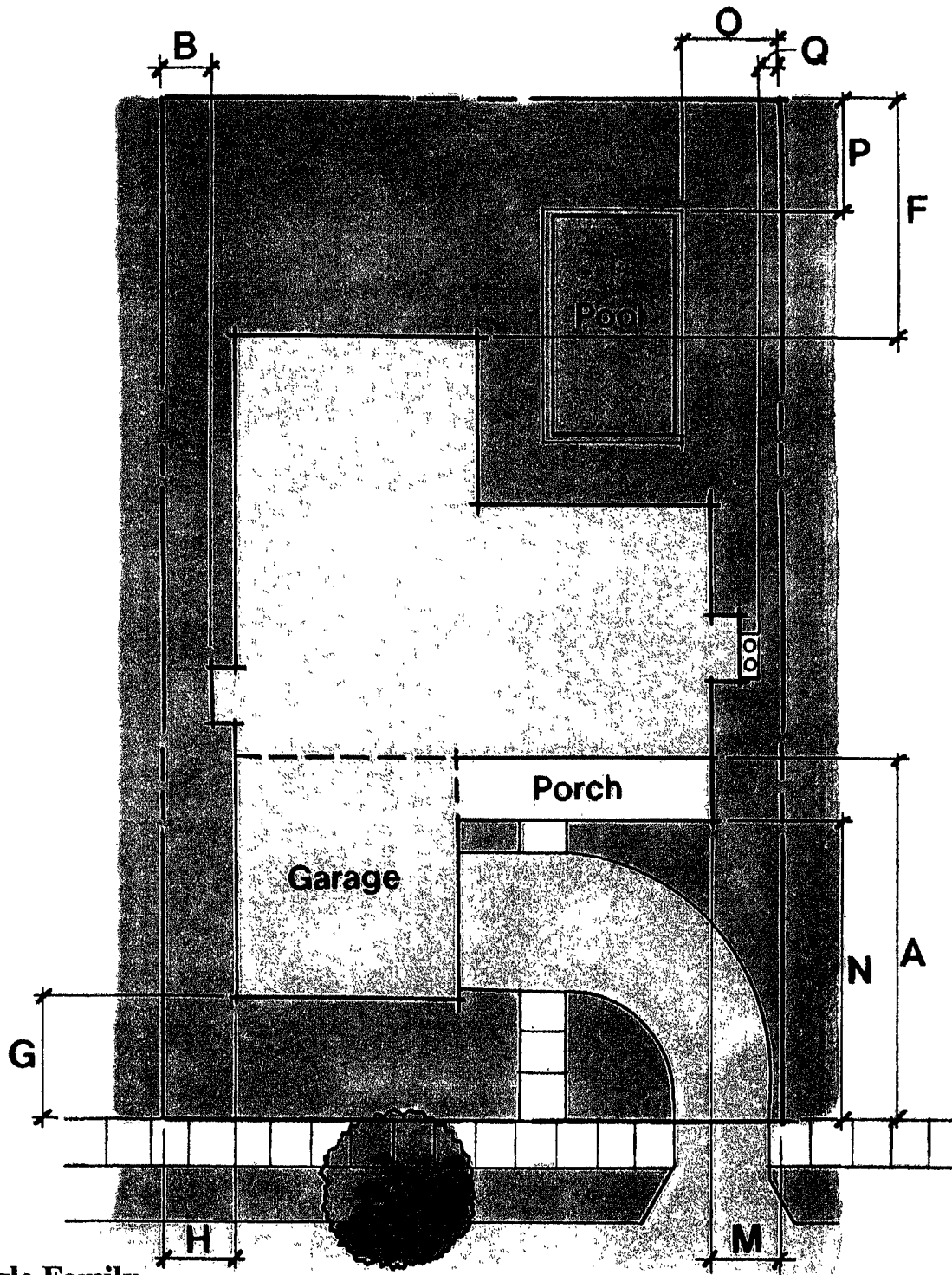
<sup>3/</sup> Pool setbacks also apply to screen enclosures.

<sup>4/</sup> Encroachment of a/c pads, chimneys, roof overhangs, utility equipment, bay windows and privacy walls may extend into yard setbacks.

<sup>5/</sup> Side loaded alley garage minimum setback 10' from edge of pavement.

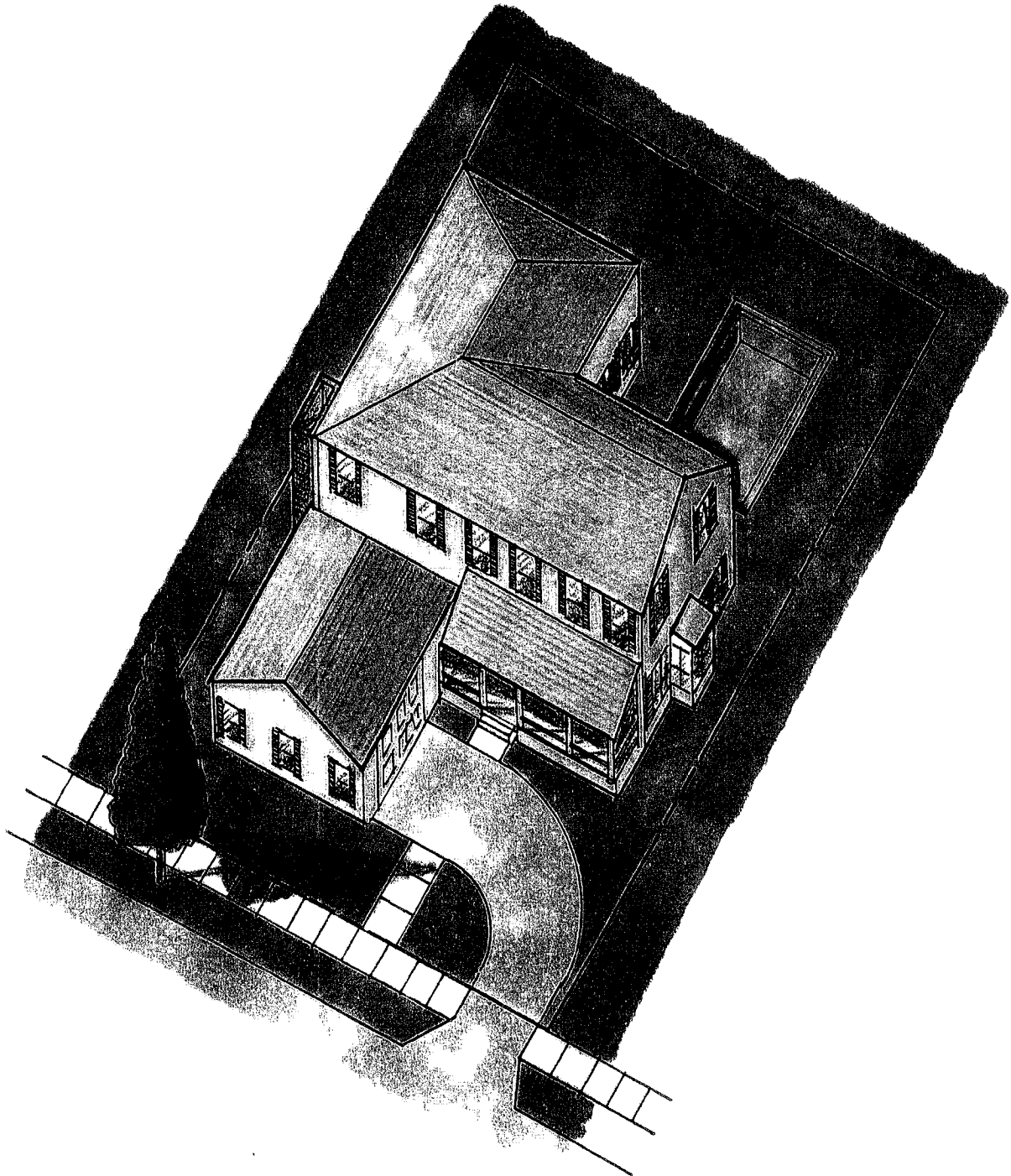
<sup>6/</sup> Maximum impervious cover not to exceed 75% on individual lots.

# 6 NEIGHBORHOOD RESIDENTIAL DEVELOPMENT STANDARDS



**Single Family  
Large Lot Plan**  
(see Criteria Matrix)

**6 NEIGHBORHOOD RESIDENTIAL  
DEVELOPMENT STANDARDS**

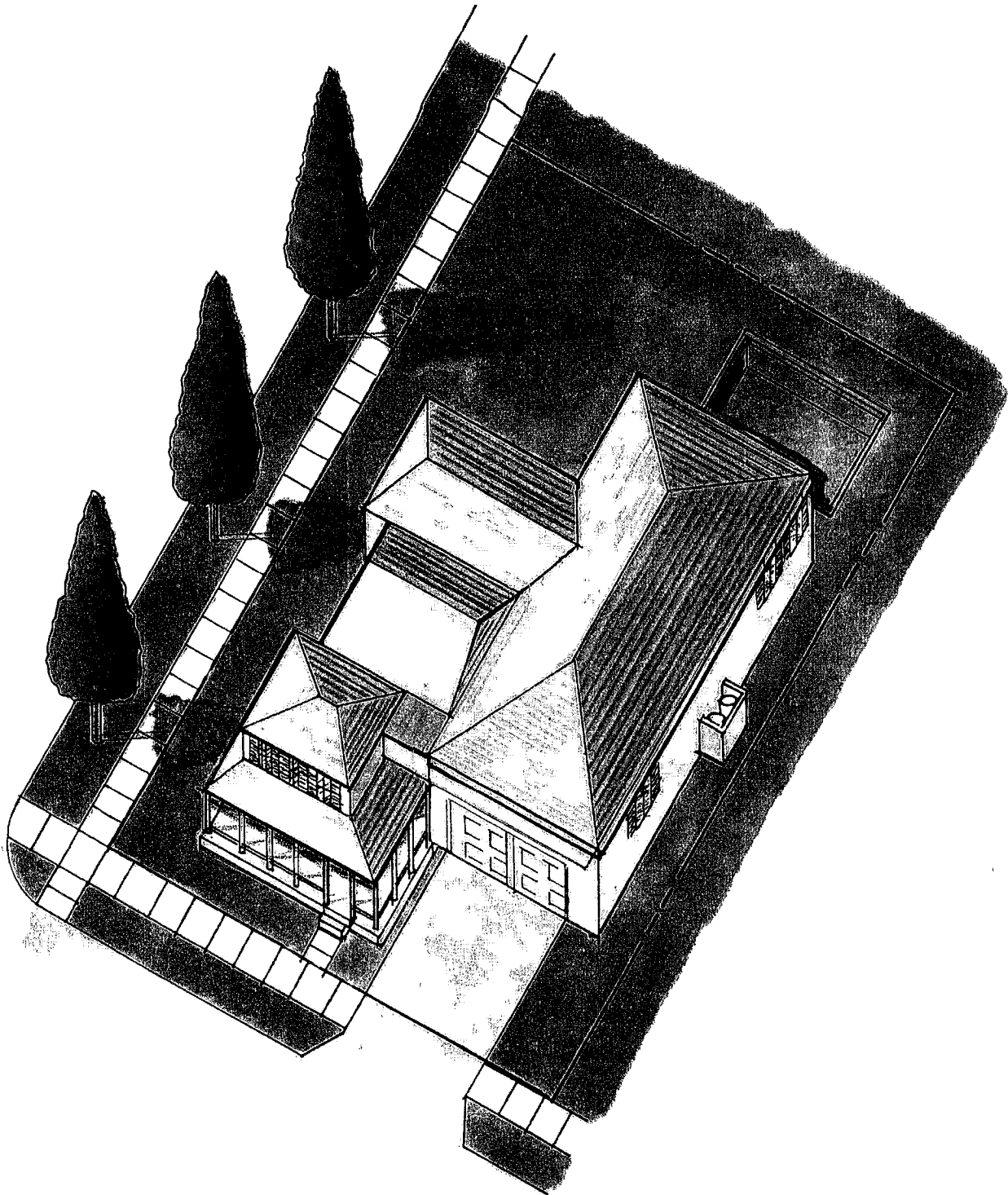


**Single Family**  
**Large Lot Plan**  
**Isometric View**

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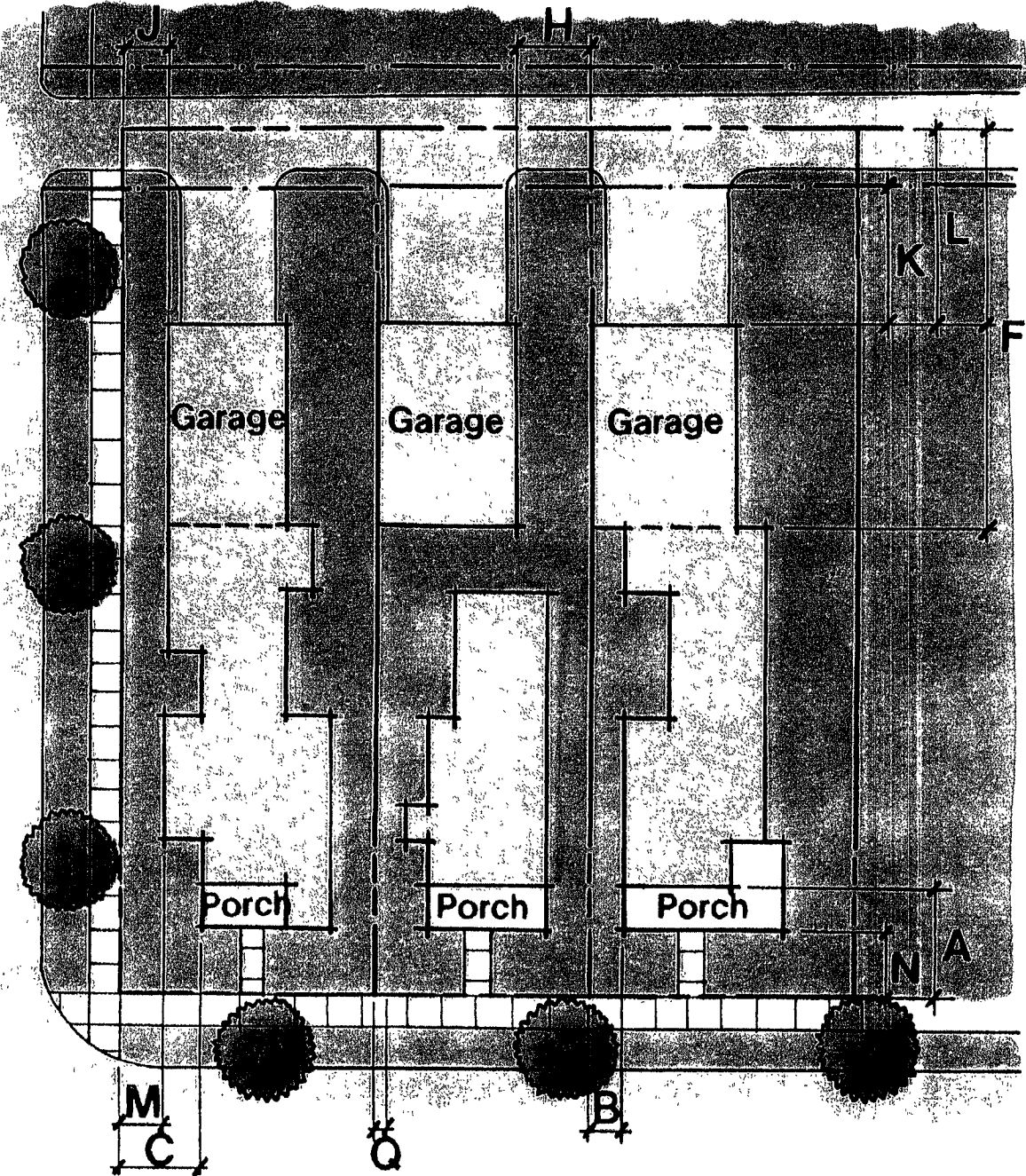


**6 NEIGHBORHOOD RESIDENTIAL  
DEVELOPMENT STANDARDS**



**Single Family**  
**Standard Lot Plan**  
**Isometric View**

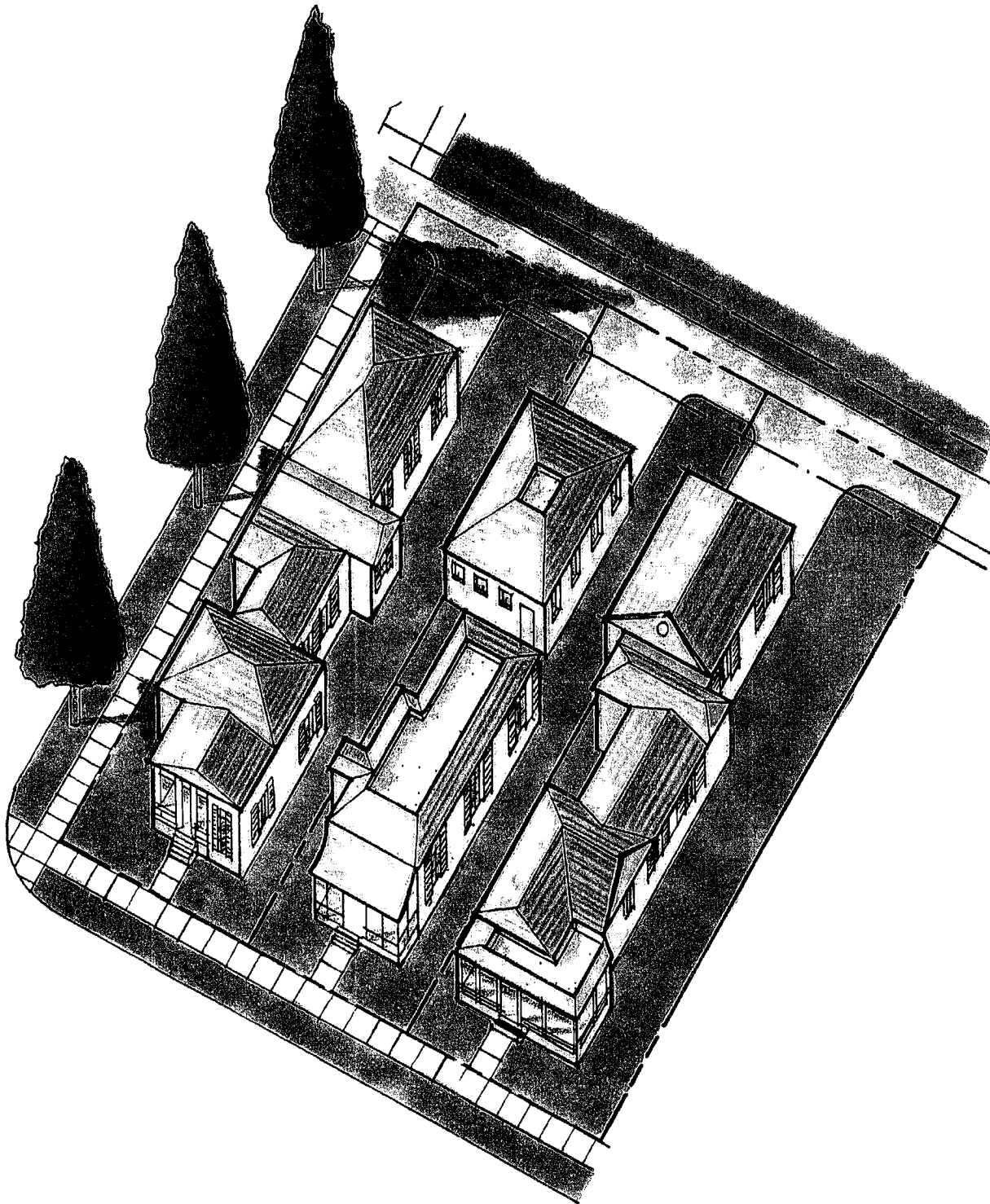
## 6



**Single Family  
Small Lot Plan**  
**(see Criteria Matrix)**



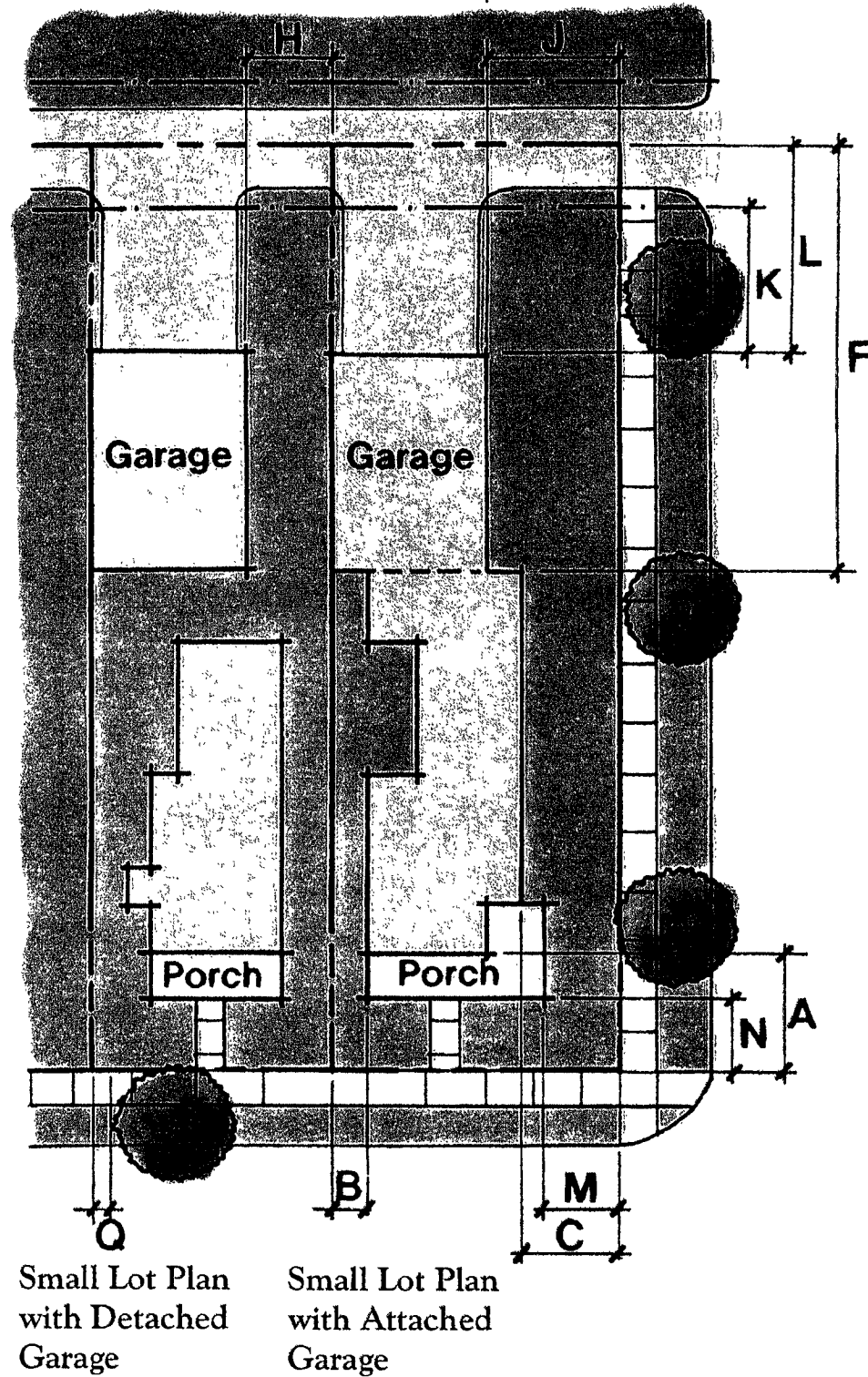
**6 NEIGHBORHOOD RESIDENTIAL  
DEVELOPMENT STANDARDS**



**Single Family  
Small Lot Plan  
Isometric View**

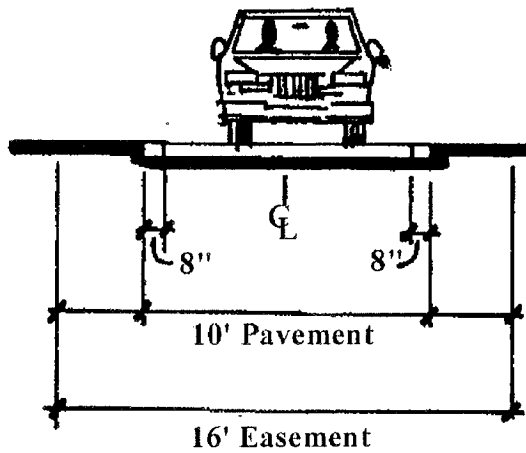


## 6 NEIGHBORHOOD RESIDENTIAL DEVELOPMENT STANDARDS

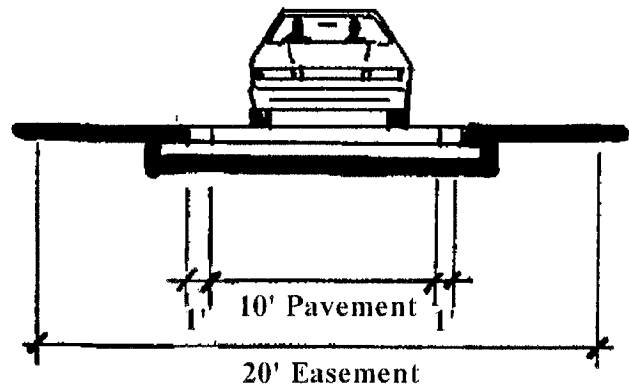


Alley-Way Plans  
(see Criteria Matrix)

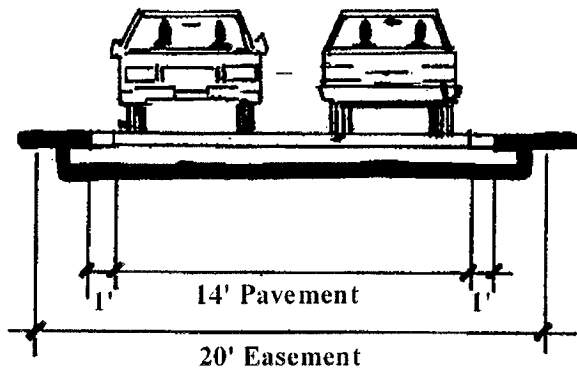
## 6 NEIGHBORHOOD RESIDENTIAL DEVELOPMENT STANDARDS



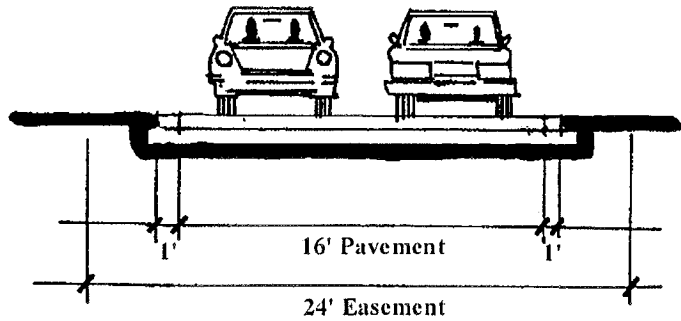
**One-Way Traffic Alley**



**Typical One-Way Alley**



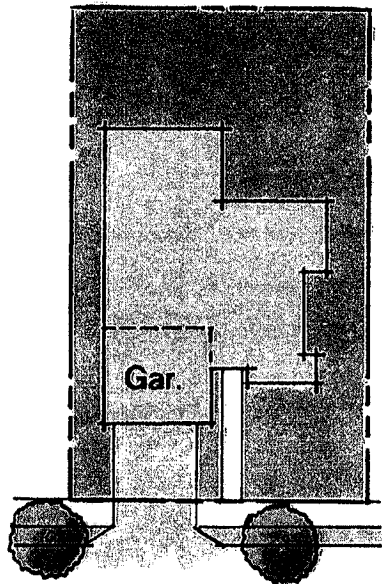
**LARGE LOT ALLEY**



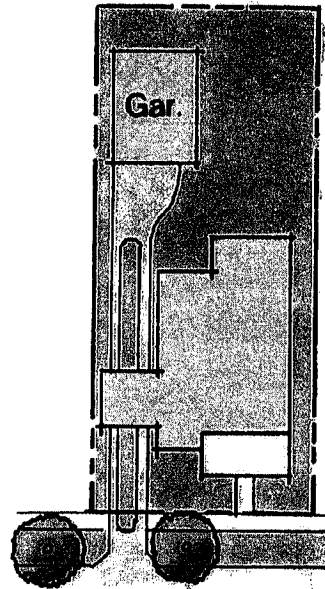
**Two-Way Traffic Alley**

### Alley Sections

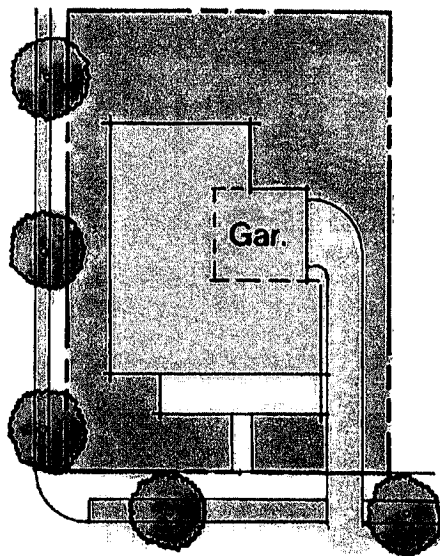
## 6 NEIGHBORHOOD RESIDENTIAL DEVELOPMENT STANDARDS



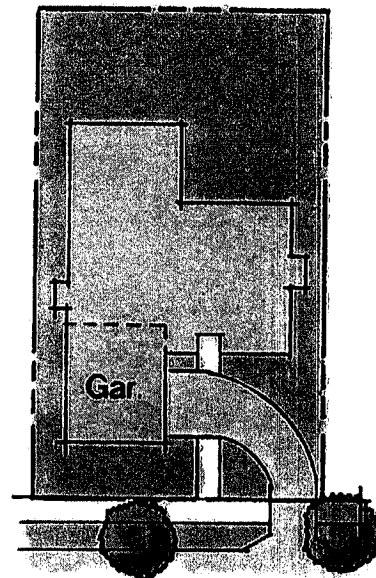
Standard Front  
Loading Garage



Front Loading  
Rear Garage



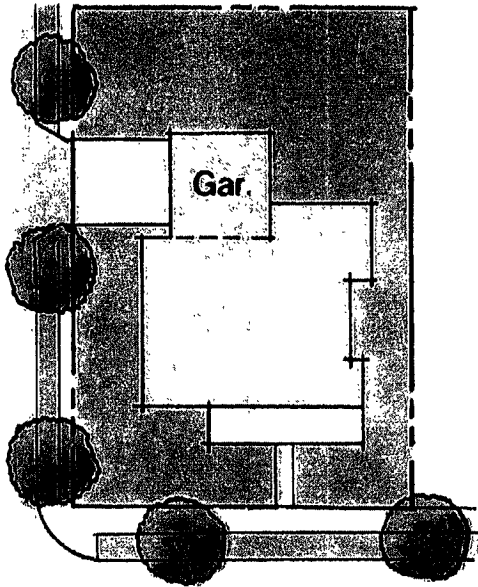
Side Entrance Garage  
on Lower Level



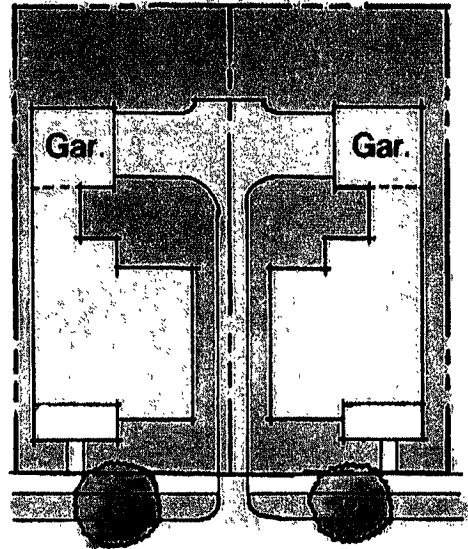
Typical Side Entrance

### Garage Options

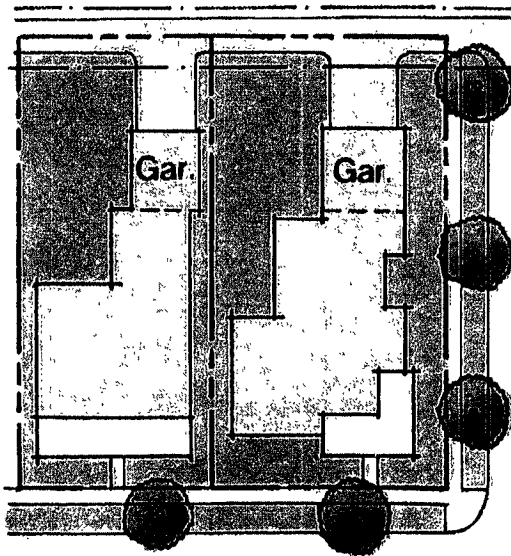
## 6 NEIGHBORHOOD RESIDENTIAL DEVELOPMENT STANDARDS



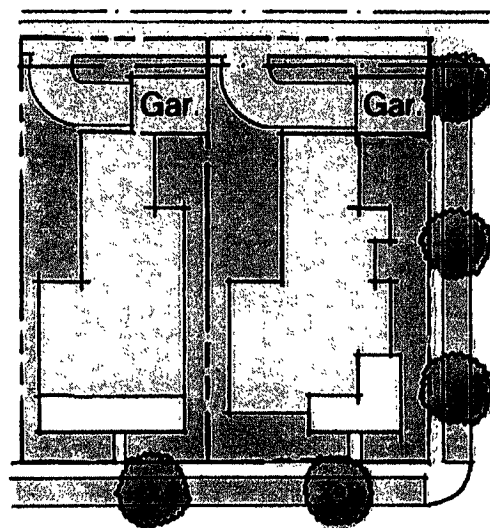
Side Entrance  
Corner Lot



Shared Easement



Alley Lot Garage



Alley Lot Side  
Entrance Garage

### Garage Options

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## **7** **WORKPLACE DEVELOPMENT STANDARDS**

Key Elements	7.1
Illustrative Workplace Program	7.2
Workplace Character	7.3
Building Placement	7.4
Orientation to the Frontage Boulevard	7.5
Placement of Entrances	7.6
Building Expression	7.7
Parking Locations	7.8
Site Access	7.9
Service Location	7.10
Development Intensity	7.11
Building Height	7.12
Architectural Standards	7.13
General Landscape Standards	7.14
Permitted Uses	7.15
Prohibited Uses	7.16
Parking	7.17

## **7** **WORKPLACE DEVELOPMENT STANDARDS**

### **7.1 Key Elements**

The general intent of the Guidelines for the Workplace is to encourage the development of a commerce-oriented center that can support a variety of non-residential uses.

The siting and orientation of office/commercial building and related improvements shall recognize existing relationships, e.g., buildings, streets, parking, access, stormwater management, ecological constraints and serve to enhance them. Special attention shall be given to the protection of view from I-4.

The key elements proposed in the Workplace include the following:

#### **Mix of Uses**

The Workplace will contain a business park oriented toward office and ancillary restaurant, retail and hotel uses.

#### **Urban Design Character**

All buildings and entrances to the same will orient to the roadways to reinforce the pedestrian-oriented character of the Workplace. Where appropriate, the building may be built to a build-to line that is established close to the interior sidewalk edge. This is not intended as a limiting concept but to allow this option in order to create a diversity of development.

#### **Pedestrian Connections**

Pedestrian paths are proposed to connect the individual buildings and uses to and along the frontage boulevard.

#### **Transit Connections**

The proposed transportation plan anticipates the coordination and confluence of different modes of transportation; i.e., bicycling, automotive and bus, to occur in the Workplace area. Additionally, there shall be a Park and Ride facility as required by the Development Order for Victoria Park located in the Workplace.

### **7.2 Illustrative Workplace Program**

- Hotel - 270 rooms
- Retail - 37,243 s.f.
- Professional Office - 854,254 s.f.

This illustrative program reflects anticipated development. Actual development may vary depending on market conditions but will be compatible with the intent of this PD zone, the New Community Development Comprehensive Land Use Plan designation and the Development Order.

### **7.3 Workplace Character**

- Buildings may be oriented towards the frontage boulevard, I-4, or to each other.
- Parking may occur around the buildings but service areas should be placed away from the addressing street and screened from view.

### **7.4 Building Placement**

Buildings are encouraged to have a clear relationship to the roadways and to each other. Buildings sited close to the frontage road

## **7 WORKPLACE DEVELOPMENT STANDARDS**

strengthen the activity and vitality of the roadway. On larger parcels, buildings should also address secondary access points.

### **7.5 Orientation to the Frontage Boulevard**

All buildings are encouraged to reinforce the street framework by locating the "main" building facade either parallel or perpendicular to a road or to another building. Buildings placed at irregular or random angles may be included.

### **7.6 Placement of Entrances**

Building entrances should be visible from the roadways; well-lit, and easily accessible by employees and visitors. Entrances should be conveniently located and adjacent to on and off street parking. Canopies, lighting, and roof forms will generally identify entrances. Through-lobbies or breezeways that address both the street and parking lots are permitted.

### **7.7 Building Expression**

Buildings are encouraged to have consistent window expressions visible from the street. Large expanses of glass curtain walls are permitted. Windowless building elevations will be discouraged.

### **7.8 Parking Locations**

Parking with clear and convenient access for visitors and employees from the addressing streets is required. A landscape zone is encouraged between parking lots and secondary access points.

### **7.9 Site Access**

Access to visitor/employee parking and service area is to be clearly marked from the major streets. Parking areas should have distinct access routes to allow for clear circulation within the site.

- Limited access points will be provided through the use of cross-access easements and joint use driveways.

### **7.10 Service Location**

Service and loading activities should occur at the rear or side yard of the building, and should be screened from public view. Building service areas oriented away from major streets are encouraged. Service areas should be screened by walls of a material compatible with the exterior wall of the main building so that the visual elements remain seamless.

### **7.11 Development Intensity**

- Development intensity will range from .25 floor area ration (FAR) to 1.0 FAR for office and ancillary uses. Hotel intensity may range from 18-30 rooms per acre.

### **7.12 Building Height**

Shall not exceed 80 feet.

### **7.13 Architectural Standards**

Drive-through use may only be accessed via the road network within the Workplace, parking lots or parking garages. Impervious surface within the Workplace may reach eight-five (85%) percent.

## **7** **WORKPLACE DEVELOPMENT STANDARDS**

### **7.14 General Landscape Standards**

- See Section 9

### **7.15 Permitted Uses**

The Workplace permits high tech industrial, commercial uses that are subordinate to and support a workplace environment, hotel and office together with appropriate supporting uses, including but not limited to office support facilities, restaurants, day care and the like. Workplace development shall not exceed 540 square feet/gross acre within the Victoria park development nor be less than 270 square feet/gross acre within the same. Hotel development shall not exceed .25 hotel rooms/gross acre within the Victoria Park development. Wherever in this PDR "gross acre" is used as a means of quantifying development obligations or limitations it shall mean all acres subjected to and covered by the Development Order adopted by the city of DeLand on June 21, 1999. The following lists of Permitted Uses within the Workplace are found to be consistent with the limitations imposed, but ancillary retail cannot include "big box" retail development generally characterized as regional malls, power centers or stand alone retail facilities that exceed 25000 square feet of air conditioned space. In no event will the cumulative retail and support commercial uses within the Workplace exceed ten (10%) percent of the overall square footage approved for the Workplace as noted above.

#### **Commercial**

- Eating and drinking establishments, (outdoor dining will be allowed within ground floor tenant space)
- Family day care center
- High Tech Industrial
- Hotel/motel
- Light Industrial Manufacturing
- Sale of alcoholic beverages in conjunction with eating and drinking establishments.
- Wholesale Distribution
- Any other similar commercial use

#### **Office**

Business or Professional Offices including the following (primary use):

- Accounting, tax and bookkeeping
- Architectural, engineering, planning and surveyors
- Business consulting
- Counselors and family services
- Dental and medical
- Estate, trusts planning and management
- Governmental
- Holding and Investments
- Home occupation
- Legal services
- Management consulting
- Property Management



## **7** WORKPLACE DEVELOPMENT STANDARDS

- Public relations
- Real estate, rental services
- Security and commodity brokers
- Temporary professional
- Any other similar office use

### Retailing, Light

Specialized retail within primary office building including the following:

- Art/craft/hobby stores
- Bakery, retail
- Bank and savings institutions
- Bookstores
- Clothing stores
- Computer store and service
- Drug stores
- Furniture stores
- Florist
- Gift shops
- Jewelry stores
- Luggage stores
- Music stores
- Newsstands
- Office supplies
- Optical goods, eyeglass stores
- Photo stores
- Specialty shops
- Stationary stores
- Tobacco stores
- Any other similar retail use

### Service, Person

Personal Service shops within primary office buildings including the following:

- Barber shops
- Beauty shops
- Duplicating services

- Dry cleaning (no cleaning on premise)
- Health spas
- Physical fitness facilities
- Photographic studios
- Tailoring
- Watch and clock repair
- Any other similar service use

### Service, Business (Primary use)

- Answering service
- Decorating service
- Secretarial service
- Stenographer service
- Software-program development
- Translator
- Writing and resume service
- Any other similar service use

### **7.16 Prohibited Uses**

The following uses are prohibited from the Workplace area:

- Adult entertainment facilities
- Agriculture
- Amusement Center
- Auto Service Station
- Automobile quick wash
- Body piercing establishments
- Communication Towers
- Community Residential Home
- Discotheques and dance halls
- Emergency shelter home for children
- Emergency shelter
- Entertainment services
- Escort Services
- Funeral Homes
- Game room
- Group housing
- Hospitals / Clinic

## **7** **WORKPLACE DEVELOPMENT STANDARDS**

- In-house carpet servicing
  - Industrial use
  - Junk yard
  - Laundromats
  - Manufacturing and processing, Heavy
  - Mobile home dwelling
  - Plasmapheresis facilities
  - Recreational Vehicle Park
  - Retail plant nurseries
  - Retail building materials
  - Service, Intensive
  - Service, Passenger Vehicle/Major Vehicle Repair
  - Shooting range
  - Skating rinks
  - Small equipment rental
  - Tattoo parlors
  - Treatment and Recovery facilities
  - Utility trailer rental
  - Vehicle sales and rental
  - Vertiports
  - Whole blood facilities
  - Any similar service, recreation, retailing, residential, commercial, or retailing use
- 7.17 Parking**
- Off-street parking must be provided for all developments. Consideration should be given in the initial design to the possibility that parking needs may be minimized in the future by transit use or higher auto occupancy.
  - Parking lots shall generally be developed behind buildings, but are not required to be.
  - Shared parking lots, easily accessible from service streets may occur.
  - A method for coordinating joint use of parking areas during off peak is encouraged and should be incorporated into the design as a means of reducing the number of parking spaces.
  - Parking areas shall be designed and landscaped to be visually and functionally integrated with other land uses. Adjacent parking lots should be connected to facilitate easy access.
  - Exterior wall materials for parking-decks should be complimentary to the exterior wall materials utilized for adjacent buildings.
  - Street frontages for parking-decks will incorporate either linear buildings or landscaping, including trees and shrubbery, to create a soft planting edge compatible with the adjoining street landscape.
  - Parking requirements specified in the Village Center also apply to the Workplace. (See Section 5.16)

**8** INFRASTRUCTURE & ENGINEERING  
DEVELOPMENT STANDARDS

Stormwater Master Plan	8.1
Utilities	8.2
Reuse Water	8.3
Mass Grading and Clearing	8.4
Temporary Subdivision Sales Office	8.5

## **8 INFRASTRUCTURE & ENGINEERING DEVELOPMENT STANDARDS**

### **8.1 Stormwater Master Plan**

Specific regulatory and desirable stormwater quality and quantity goals are to be achieved with the proposed plan consistent with minimum requirements of the local, State and Federal governments.

The Victoria Park project, in its post-developed condition, addresses surface water and ground water drainage concerns through construction of combinations of wet and dry retention pond systems. These serve to control both pollution abatement and peak storm runoff issues brought about by the development plan.

In the areas where high groundwater conditions are prevalent and natural surface water outfalls exist (predominately the northeast quadrant) wet retention/detention lakes will be employed. These stormwater management areas will be in proximity to and will discharge to wetland systems, after pollution abatement measures. This will ensure hydroperiod enhancement of the wetlands through direct discharges and positive groundwater inflow from the pond system. It is intended that wetlands management plan and the stormwater management systems be integrated into the development package. These notions are incorporated into and are part of the ERP permits being acquired by the developer from the St. Johns River Water Management District (SJRWMD).

Depressional topography in other areas of the project (most of the northwest, southwest and southeast) results in the design of dry total retention basins. These facilities will accomplish both runoff water quality and quantity without discharge off site.

The Master Stormwater Plan for the entire development will be produced following the ERP Conceptual Permit. Final engineering of the stormwater management infrastructure will be done in phases with facility locations and design criteria consistent with the Master Plan. This plan delineates the wetlands and their role in the stormwater system. The development plan will preserve, as much as practical, both wetland and upland wildlife habitat consistent with the regulatory protocols imposed by the State of Florida and the Federal Government.

The stormwater system is to be owned and operated by a Master Association after completion of development.

### **8.2 Utilities**

#### **8.2.1 Electric**

The project will obtain electric distribution from Florida Power Corporation pursuant to their standard specifications. This system will be placed within the roadway framework to the fullest extent possible, but may, if determined necessary by either the developer or the utility provider be located in easements removed from roadways. It is intended to design these facilities to incorporate all required underground utilities including telecommunications, cable TV, fiber optic services, data link services, and other utilities to minimize or eliminate the long term conflict usually experienced with below grade utility infrastructure. All power duct bank facilities should have separate manholes for safety and joint use access issues. Connections to existing facilities will occur around the boundary of the proposed PD.

## **8 INFRASTRUCTURE & ENGINEERING DEVELOPMENT STANDARDS**

### **8.2.2 Sanitary Sewer**

The PD will incorporate a new network of underground sanitary sewer collection and transmission systems meeting the requirements of the City of DeLand and Florida Department of Environmental Protection specifications. The gravity collection mains will generally be located within street rights-of-way and connect to a number of on-site sanitary sewer lift stations strategically located throughout the property or within easements where placement outside of road rights-of-way is deemed necessary by the Developer. Lift stations will be minimized consistent with good engineering practices. The underground sanitary sewer collection and transmission systems, together with any ancillary lift stations and the like will be installed and paid for by the developer.

### **8.2.3 Potable Water**

Potable water for the project will be provided by the City of DeLand. The project site will include a water plant site expansion area to be utilized to produce potable water for the PD as well as be connected to the existing DeLand water distribution plant and pipe system if deemed necessary by the City of DeLand. This interconnection will provide additional reliability levels to the existing property.

In addition to the plant site, DeLand is proposing construction of six new potable water wells on and around the property. Two of these wells are scheduled to be located on the proposed water treatment plant site and additional well locations are shown on the attached Exhibit "H" to the Development

Order. The number of well sites and their locations are targeted locations and subject to adjustment and relocation after testing and other data are reviewed.

A new water distribution system meeting current American Water-works Association, DeLand and Florida Department of Environmental Protection standards will be constructed as part of the project. Main lines will be located within street rights-of-way with offsite connections occurring at strategic points along the property boundary or within easements where placement outside road rights-of-way is deemed necessary by the Developer. The water distribution system including reuse facilities described in Section 8.3 will be installed and paid for by the developer.

### **8.2.4 Natural Gas**

The PD plan may be serviced by Gas System for natural gas distribution needs. The PD master plan may authorize the distribution of natural gas systems throughout the property at the election of the developer.

### **8.2.5 Utility Meters**

Utility meters will be screened from view and placed on side or rear building elevations, unless the same are buried in front lawn areas within residential sections of the development. Access to utility meters may be provided from alleys to the extent practicable, but ease of accessibility is important.

## **8 INFRASTRUCTURE & ENGINEERING DEVELOPMENT STANDARDS**

### **8.2.6 Utility and Drainage Easements**

To the greatest extent possible, utility corridors should be placed under the street pavement and sidewalks within the street right-of-way to reduce conflicts with parkway and front yard plantings. In addition, localized utility corridors may be placed in alleys to eliminate transformer and connection boxes from being located along Boulevard, Village Center, and Residential Street frontages.

Non-exclusive utility easements may also be provided within front yard set backs of detached housing parcels, adjacent and contiguous to proposed rights-of-way. Also in areas of attached housing, utility easements may be provided through parcels. These delineations are intended as guidance and are not mandatory. Utility easements may be located anywhere that the developer and the utility provider deem most efficient for the delivery of the required commodity and the servicing of the same. The location and configuration of the Utility Easements will be determined during the subdivision and plat review process. With regard to Drainage Easements, they will in like manner be proposed and reviewed by the City during the subdivision and plat review process. Where such easements run along side or rear lot lines they shall be a minimum of five (5) feet. If more than five (5) feet is required to properly maintain the system, such width will be determined during the subdivision and plat review process as noted above.

### **8.3 Reuse Water**

The Victoria Park development program proposes to utilize reclaimed wastewater to irrigate selected project pervious areas subject to its reliable provision by the regional utility, the City of DeLand. Subject to the utility warranting its availability, the golf course and selective open space areas will be irrigated with reclaimed water. Other project areas will be considered as similar candidates based on such use additionally being consistent with best management practices for the property, balancing irrigation needs and sources with responsible water management practices. In areas of high ground water where no stormwater outfall is available, surface water may be chosen as the best and most responsible primary source of irrigation water.

### **8.4 Mass Grading and Clearing**

The Developer is authorized and permitted to mass grade and clear land within Victoria Park provided that (1) the Developer submits a Grading and Clearing Plan which includes original contours at one-foot intervals and proposed contours at one foot intervals for each tract or parcel to be reviewed at the time of sketch plan review, (2) the SJRWMD has issued a grading permit that is consistent with the submittal to the City described in number (1) above, (3) the Developer has addressed to the extent required by the City and contemplated under Section 9 of this DPR the removal of any Historic Trees by reason of the proposed mass grading and clearing and (4) the Developer adheres to the requirements for reforestation and landscaping as provided in Section 9 of this DPR. The minimum floor elevation may be lower than the center line of

## **8 INFRASTRUCTURE & ENGINEERING DEVELOPMENT STANDARDS**

the street but all lots will be above the 100 year flood plain. In areas of steep topography, the finished living levels of parts of residential units may be lower than the roadway. Pollution abatement swales will be provided upland of streams and canals and the normal high water elevation on all lakes where deemed appropriate. The developer may stock pile excavated dirt on site provided that the Developer provides the City with a schedule as to when the stock piled dirt will be removed and used as fill in other locations. In this regard, reasonable efforts should be made to screen the stock piled dirt from public view.

Notwithstanding the foregoing, the Developer will not mass grade and clear land in excess of that which is reasonably needed to maintain an approximate one years inventory of land under development, it being the intention of the City and the Developer that only so much of the land within Victoria Park will be mass graded and cleared pursuant to this provision as is reasonably necessary to insure that the Developer has a one year inventory of land under development after taking into account historic and projected absorption of developed lots. This timing restriction will not apply to or impact the right of the Developer to develop the golf courses or other recreational facilities within Victoria Park. With respect to the golf course development, the Developer is authorized and permitted to clear cut and grade 60 feet on either side of the center line of the golf hole to be developed without reference to Historic Trees. After initial clearing and grading for the golf holes as above, the developer will be required to account for the proposed removal of any other Historic Trees

within the routing plan of the golf course as provided in Subsection 9.2. For that purpose Historic Trees within the golf course routing plan shall be deemed to be within a residential area.

This provision is applicable to all development within Victoria Park, including development described in Sections 4,5,6 and 7 of this DPR.

### **8.5 Temporary Subdivision Sales Office**

Subject to the following conditions, the Developer shall be entitled to construct a temporary subdivision sales office in any portion of the community and without platting or otherwise committing the selected site to permanent configuration as a Temporary Subdivision Sales Office. The Developer will be entitled to install, subject to permit from the appropriate regulatory authorities, a temporary septic tank and well system to facilitate the operation of the Temporary Subdivision Sales Office. The Temporary Subdivision Sales Office will cease operation in this location as soon as the permanent sales office has been constructed, but in no event later than thirty (30) months following the opening of the Temporary Subdivision Sales Office contemplated here. Upon cessation of operation of the Temporary Subdivision Sales Office in this location, the Developer will restore the land as near as practicable to its natural state. In all other respects the Temporary Subdivision Sales Office shall comply with Section 33-21.03 of the DeLand LDR's.

9 GENERAL LANDSCAPING STANDARDS

Landscape and Vegetation Standards	9.1
Tree Preservation	9.2
Landscape Enhancement	9.3
Tree Replacement	9.4
Landscape and Vegetation Standards by Development Area	9.5
Plant List	
Conceptual Plant Palette	



## **9 GENERAL LANDSCAPING STANDARDS**

### **9.1 Landscape and Vegetation Standards**

The approved New Community Development (NCD) Land Use Designation, the DRI, Development Order and this Ordinance are designed to act in concert with the Site Mitigation and Management Plan to create a set of protocols that will provide and maintain perpetual upland and wetland habitat for wildlife currently using the property and for the integration of the natural and built environmental over time. The above planning coupled with the environmental documents issued by State and Federal regulatory agencies provide for the preservation of hundreds of acres of upland and forested areas which will protect, preserve and enhance the natural systems now within the City of DeLand and particularly, Victoria Park.

With these elements of open space preservation approved through the State and Federal government, the following Landscape and Vegetation Standards pertain to the overall Victoria Park property. With the exception of Historic Trees and significant tree stands these standards look at the property on a large-scale rather than on a site-by-site basis and anticipate short-term vegetative loss for long-term vegetative replacement consistent with this plan..

These Landscape and Vegetation Standards have been developed to achieve each objective discussed in Section 3 - Environmental / Open Space / Development Standards. As such, the public (i.e., parks, open space and public rights-of-way) and private (i.e., retail, office and residential sites) realm landscape standards are required to respond to:

- Existing conditions within the upland zones (namely, flatwoods, sand hill and sand pine scrub) and wetland areas on site, and
- The enhancement of the existing landscapes in public and private realms of each area of the plan.

Generalized landscape and vegetation standards that pertain to all areas of the site have been developed to guide the articulation of the landscape vision. These general guidelines are enumerated in the text that follows. Additionally, landscape and vegetation standards for the public and private realms of each development area identified in the plan are addressed below.

The standards outlined as generalized landscape and vegetation standards apply to all development areas in Victoria Park. The standards cover the preservation, enhancement, installation and maintenance of plant materials. The standards for land clearance are included in this section as well.

A priority has been given to the preservation of existing ecologically sound plant and animal communities. Within Victoria Park, the Developer has prior to any reforestation or landscaping enhancements set aside 504 acres of upland forest, forested wetlands and wetlands which are to be preserved in perpetuity as Resource Areas (i.e. permanent tree set asides). This constitutes approximately 27% of the total acreage within Victoria Park and as such exceeds the minimum requirements of the DeLand LDR's by more than 81%. Even when one analyzes the Victoria Park development in smaller

## 9 GENERAL LANDSCAPING STANDARDS

components, such as individual quadrants, each quadrant exceeds the minimum threshold for forested set asides by a significant amount. For example, the Northeast has 288 acres set aside for open space or it exceeds the DeLand LDR's by 170.76%, the Northwest has 125.78 acres set aside for open space or it exceeds the DeLand LDR's by 77.91%, the Southeast has 36.53 acres set aside for open space or it exceeds the DeLand LDR's by 50.45% and last, the Southwest has 83.47 acres set aside as open space, exclusive of the golf course, and it still exceeds the DeLand LDR's by 7.77%. If you include the golf course in the calculation for the Southwest quadrant, then the percentage difference between the Victoria Park plan and the DeLand LDR's is elevated to 244.78%.

Significant natural wetland systems, namely protected and transitional wetlands, have been delineated and preserved intact consistent with state and Federal regulatory protocols. Some disturbance is expected to occur when alterations are made to the site and during the establishment of the surface water connection between existing water bodies and wetlands. On-site mitigation will be performed as necessary to improve the overall quality of wetlands on site and undisturbed upland habitats will be maintained around preserved wetlands consistent with state and Federal regulatory protocols as contained in the SJRWMD ERP and the U.S. Army Corps of Engineers Section 404 Permits.

Habitats for threatened or endangered plant or animal species will be preserved and protected from inappropriate human intrusion, as required by the referenced state and Federal regulatory protocols.

Where feasible, existing vegetation will be preserved to function as natural buffers and wildlife preservation areas.

If it is the intention of the City that all lands affected by this Plan Development Report shall be governed by this criteria and that Articles 6 and 8 of the City's Land Development Regulations are not applicable to the lands affected by this Plan Development Report.

### 9.2 Tree Preservation

The preservation of existing trees will be taken into consideration during the planning and construction phases. Protective barriers will be used in construction areas to help define the limits of permissible construction activities where trees are to remain. The preservation of tree stands is given preference over individual trees except "Historic Trees" and as such Historic Trees are the only trees that are required to be individually surveyed and accounted for prior to permissible clearing and grading. When feasible, healthy existing trees that cannot be preserved at their current location may be re-located to other suitable areas on site. Suitable areas will be determined based on soil, microclimate, moisture and drainage appropriate to the specific species of plant. Any plant material that cannot be relocated on site appropriately will be recycled.

Efforts will be made to preserve tree stands alongside the golf course, buffers, environmental areas and open spaces. As conditions allow, the edges of these areas will be visually identified to minimize encroachment by construction activities. Where grading considerations allow, trees shall be saved within the residential lots but it is

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recognized that some mass grading and clearing will be necessary to develop the project and the same shall be permitted as specified in Subsection 8.4 above.

At the time of Preliminary Site Plan Approval the Developer will submit an assessment of the existing Historic Trees within the area to be impacted by development and initiate the procedures described below for processing any request to remove one or more Historic Trees. If additional vegetative cover is to be preserved within the area targeted for immediate development, the Developer shall detail its plans with regard to the same and present that plan to the City Technical Review Committee. Historic Trees shall be administered as set forth here.

- Historic Trees

For purposes of this DPR a Historic tree is any "Live Oak" (*Quercus Virginia*) that is 36" or greater DBH in residential areas and 25" or greater DBH in non-residential areas. Where a Historic Tree or Trees are encountered in the development process and the Developer desires to remove the same, the Developer shall demonstrate to the satisfaction of the City Technical Review Committee that removal of a Historic Tree or Trees is 1) adequately mitigated as herein after described, and 2) reasonably required in order to maintain the overall integrity, intent, and feasibility of the Master Plan. Maintenance of the overall integrity, intent and feasibility of the Master Plan is to be analyzed by consideration of costs, logistics and existing technology in

light of the overall development plan and project purpose envisioned by Map H and the Development Order. The City Technical Review Committee may require the Developer to provide such information as is reasonably necessary to establish the rationale for removal of a Historic Tree or Trees. An alternative is practicable if it is available and capable of being done after taking into consideration costs, existing technology and logistics in light of the overall development plan and project purpose envisioned by Map H and the Development Order. To the extent reasonably required by the City Technical Review Committee, the developer will provide such information as is reasonably necessary to establish the absence of a practicable alternative. Upon submission of a request to remove a historic tree, and such supporting information as may be reasonably required for the same, the City Technical Review Committee will render a decision that (1) removal is permitted as submitted, (2) removal is permitted with additional conditions or (3) removal is denied, within ten (10) business days after submission. If the developer disagrees with the decision of the City Technical Review Committee, the developer may appeal the decision to the City Commission for final determination, otherwise the decision of the City Technical Review Committee is controlling and final. If appealed, the City Commission will hear the matter at the next regularly scheduled meeting of

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the commission following submission of the appeal notice and may consider the matter de novo.

In all events, the removal of Historic Trees shall be mitigated by replacement based upon one-third ( $\frac{1}{3}$ ) of the total DBH of the main trunk of the tree (s) removed.

The relocation of a Historic Tree or Trees is considered adequate mitigation so long as the transplanted Historic Tree or Trees survive at least two growing seasons post transplant and relocation. If they fail to survive the relocated and transplanted trees shall be treated as removed Historic Trees and the developer shall proceed to mitigate the loss as above described.

It is the intention of the City to ensure that if a loss of a Historic Tree must be sustained in order for the developer's overall development plan and project purpose to be implemented, compensatory mitigation in the form of additional tree plantings is required. At the direction of the City Technical Review Committee, the developer will include in those mitigation plantings Long Leaf Pine, Turkey Oak or Live Oak and Scrub Oak.

Where a Historic Tree or Trees are preserved or relocated the developer will appropriately protect the Historic Tree or Trees during the construction process with adequate screening and will not develop under the dripline of said tree.

The same consideration afforded tree masses will be extended wherever possible to unique plant material occurring naturally on site.

Development around Historic Trees will be permitted within the drip line of the Historic Tree provided that the Developer takes reasonable precaution to protect the same from root damage and can reasonably demonstrate that the planned development is not likely to cause inappropriate levels of stress to the Historic Tree such that its continued viability would be threatened. If development around a Historic Tree causes the loss of a Historic Tree, then the Developer shall mitigate for the loss as provide for herein.

The minutes of the Technical Review Committee will be forwarded to the City's Tree Committee for informational purposes in each instance where the Technical Review Committee makes a determination pursuant to this Section.

### 9.3 Landscape Enhancement

The enhancement of existing vegetation will be accomplished through the introduction of additional native plant species and enhancement of existing natural systems.

All discernable invasive or exotic species (i.e., Chinese tallow trees, Australian Pine, Chinaberry, Ear Tree, Bishopwood, Eucalyptus, Silk Oak, Punk Tree, Primrose Willows, Grapevines, Guava, Brazilian Pepper, Woman's Tongue, etc.) that exist on the site will be removed. All vegetative species to be

## 9 GENERAL LANDSCAPING STANDARDS

installed on site are included in the plant palette. No plants on the Florida Department of Environmental Protection or the Florida Department of Agriculture's lists of prohibited plant species will be used on the site.

- Irrigation

All landscaping of properties, including detached housing, will take xeriscape design principles into consideration. Wherever possible, plants with similar drought tolerance characteristics will be grouped together with varying water needs. Annual, turf, and drought tolerant shrubs and groundcovers require different amounts and frequencies of irrigation and, therefore, shall be irrigated separately. In many cases existing native vegetation does not require supplemental irrigation.

Each zone shall be designed to ensure that adequate pressure and output are maintained when the system is in operation. Heads will be used that have the same output or precipitation rate throughout each zone.

Sprinkler heads will be selected according to the amount of pressure available in the system, the size and shape of the area to be irrigated, and the type of plants to be irrigated.

After the irrigation system is installed, each zone will be calibrated to determine how long it will take to apply an adequate amount of water to each zone. Daily monitoring of the irrigation system

will be ensured using rain sensors or rain switches.

- Landscape Design, Selection and Installation

The principles of appropriate planning and design, soil analysis, efficient irrigation, practical turf areas, appropriate plant selection, mulching and appropriate maintenance will be used to guide the design and implementation of the landscape work. Landscape material will be selected and installed according to their intended use, size, spacing requirements and compatibility with the site and architectural style of adjacent buildings. Both drought tolerant and non-drought tolerant plants will be used in the landscape design in an appropriate manner. Additionally all trees and vegetation will be properly located and installed according to their normal growth requirements. Landscape materials planted in natural areas will consider an ecosystem approach to landscape design. The Florida Natural Areas Inventory and the Department of Environmental Protection's Guide to Natural Communities of Florida will serve as a resource to help identify the appropriate vegetation. The list of plant species hereinafter set forth is the list from which the Developer will select and install plant material in meeting the landscape criteria.

All installed plant material shall meet the minimum standards of Florida #1 as per

## 9 GENERAL LANDSCAPING STANDARDS

the Grades and Standards for Nursery Stock, current ed., Florida Department of Agriculture and Consumer Services

New trees and palms will be field staked until their rootballs have become established. All individual trees and palms in sod areas shall have a mulched watering ring provided.

All landscape materials will be installed so as to present a unified appearance upon final acceptance of the planting assuming normal growing conditions exist.

Upon completion of the development, all areas on site will be built on, paved, landscaped or mulched. There will be no area where expanses of bare soil are visible.

- **Landscape and Irrigation Maintenance**

All vegetation will be maintained as needed for continued health. Maintenance shall typically include, but not be limited to, watering, pruning, repairing washouts, removing debris and dead branches, weeding, maintaining mulch level, mowing, edging, tightening and repairing of guys, replacement of sick, dying, or dead plants, resetting plants to proper grades or upright positions, restoration of planting saucers or plant beds, and all other care needed for the proper growth of the plant material. Trees will be appropriately pruned to maintain the health and natural form as appropriate.

Plant materials will be thinned as needed in areas of historic sand hill and pine flatwoods communities in order to safely maintain these fire-dependent systems.

The irrigation systems installed for the landscaping will be maintained in proper working order. All systems will be monitored for broken or dirty heads as well as ensuring adequate coverage for each zone. The application of xeriscape principles and the potential use of reclaimed water for irrigation purposes will also contribute to water conservation.

- **Land Clearing**

During construction, existing vegetative buffers will be retained along the perimeter of the site, wherever possible, when clearing the land for development. Temporary fencing will be constructed wherever adequate vegetative buffers do not exist during the land-clearing phase of development.

### 9.4 Tree Replacement / Reforestation

The Developer will install a combination of shade and understory trees following development of each platted area within Victoria Park in accordance with the following standards. This approach is in lieu of the city's existing tree mitigation methodology and is expected to increase the tree count within Victoria Park by some 10,000 trees representing a percentage increase over existing standards by approximately 113%.

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- **Street Trees**

Street trees shall be provided between the curb and sidewalk in the tree lawn adjacent to all residential lots. These trees shall be planted at regular intervals not to typically exceed a maximum spacing of 50' o.c.

- **Lot Trees**

Small Lots: (As defined in Section 6 - Neighborhood Residential Development Standards) A minimum cumulative caliper of 2½ inches at DBH of trees shall be required after small lot development. Trees may be either shade or understory trees or a combination thereof.

Standard Lots: (As defined in Section 6 - Neighborhood Residential Development Standards) A minimum cumulative caliper of 5 inches at DBH of trees shall be required after standard lot development. Trees may be either shade or understory trees or a combination thereof.

Large Lots: (As defined in Section 6 - Neighborhood Residential Development Standards) A minimum cumulative caliper of 7½ inches at DBH of trees shall be required after large lot development. Trees may be either shade or understory trees or a combination thereof.

- Where reference is made to either shade trees or understory trees it is the intent of this DPR that shade trees predominate

and that understory trees be used as complimentary plantings so that when an area is viewed as a whole, an aesthetically pleasing assortment of both types of trees is presented.

- **Credit for Preservation of Existing Trees**

An inch for inch credit toward the cumulative caliper requirement shall be applied for all existing trees preserved on individual lots.

### 9.5 Landscape and Vegetation Standards by Development Area

The purpose of these landscape and vegetation standards is to address the landscape requirements that vary between developed areas on the Victoria Park site. For the purposes of this discussion, the areas are arranged in order of the most dense to the least dense development pattern on the site. The landscaping that accompanies this transition in density may range from formal streetscape patterns to informal park edges. The list of plant species hereinafter set forth, is the list from which the Developer will select and install plant material in meeting the landscape criteria but nothing contained herein shall preclude the Developer from selecting any native plant species.

The landscape design intent for all areas is to establish a naturalistic landscape that brings elements of the natural systems into developed areas across the site. Curvilinear patterns reminiscent of natural contours will be used predominately to define the edges of the landscape areas as opposed to strict linear forms. The landscape design will provide an

## 9 GENERAL LANDSCAPING STANDARDS

environment that is welcoming and comfortable at a pedestrian level throughout the development. Street trees will be provided for shade, and appropriately spaced according to their intended use. A variety of landscape shrubs and groundcover as well as understory trees will be used to contribute to visual interest.

- Village Center

The Village Center as previously described is an urban area comprised of retail, office and residential uses. Each building is intended to have active ground level uses that may include outdoor spaces such as arcades and porticos.

The accompanying landscape in this area will include canopy shade or shade producing trees in the sidewalks where the tree canopies can be accommodated. Trees located in landscaped planters are also encouraged, as well as landscaped wall trellises and landscaped pavement cutouts. The landscape here is meant to be more formal and a bit sparser than that found in other areas on site. There are no front or side setbacks along parcels in this area, leaving little room for additional plantings other than the public streetscape and parks. Individual property owners may choose to incorporate planters, hanging baskets, flower boxes or other landscape features into the design of their active ground floors. These will be managed and controlled through the Covenants, Conditions and Restrictions.

Canopy trees will be installed in the sidewalks where adequate sized pavement cutouts exist and the tree canopies can be accommodated. The minimum size specification at installation, provided these conditions are met, shall be  $\pm 14$  feet in height,  $\pm 7$ -foot spread and  $\pm 4$ -inch caliper (DBH). Smaller understory, single stem or multi-stem trees may be installed where seasonal color and smaller plant materials are required. The minimum size specification at installation will be  $\pm 8$  feet in height,  $\pm 5$ -foot spread and  $\pm 1\frac{1}{2}$  inch caliper. (DBH)

As the Village Center transitions to residential areas, the landscape treatment will be comprised primarily of street trees and grass sod located in the tree lawn along the public right-of-way and in landscaped areas within the private realm. The introduction of landscape into the private realm also begins to reduce the formality of plantings and increase opportunities for greater personalization of landscape design.

This setback allows for the introduction of landscaping in the front yard of these buildings. Where sufficient space exists, small canopy, ornamental trees can be introduced. Otherwise properties should use predominately shrubs and groundcover.



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- Neighborhood General

The neighborhoods will not have any special walls or gates distinguishing one from another except at the entrance to the Active-Adult Section of Victoria Park. Streets in all neighborhoods will be narrow and allow for on-street parking. The street landscaping is to be envisioned as a series of continuous parkways with canopy trees and grass or other understory landscaping. Each lot will have an approved landscape plan compatible with the overall street tree planting. The setbacks will enable private property owners to supplement the public streetscape with additional canopy trees. The private owners are also encouraged to plant shrubs and to install groundcover.

The relatively narrow side setbacks will allow only for the planting of shrubs and groundcover. The area of separation between attached housing can be used as small courtyards where trees, shrubs and groundcover can be installed to enhance the property.

Large canopy trees will be installed in the tree lawn of the street right-of-way with a maximum typical spacing of 40 to 60 feet. The minimum specifications at installation will be the same as that specified herein for 100 gal canopy shade trees.

- Perimeter Edge Treatment

To the extent practicable open space or buffers should be employed at the perimeter of Victoria Park to shield and buffer neighborhoods that are outside the boundaries of the Victoria Park.

Because the setbacks for perimeter edges are similar to those in Neighborhood General areas, those landscape standards apply for this zone. There also remains the opportunity for private property owners to enhance their properties using canopy trees of all sizes, understory trees, shrubs and groundcover. The perimeter edge buffers shall not be less than 25 feet where the boundary of Victoria Park abuts another property. This minimum perimeter edge buffer requirement shall also apply to any area presently set aside or ultimately condemned for the widening of any state or county right-of-way which crosses Victoria Park so that a minimum 25 foot perimeter edge buffer will always abut a dedicated right-of-way.

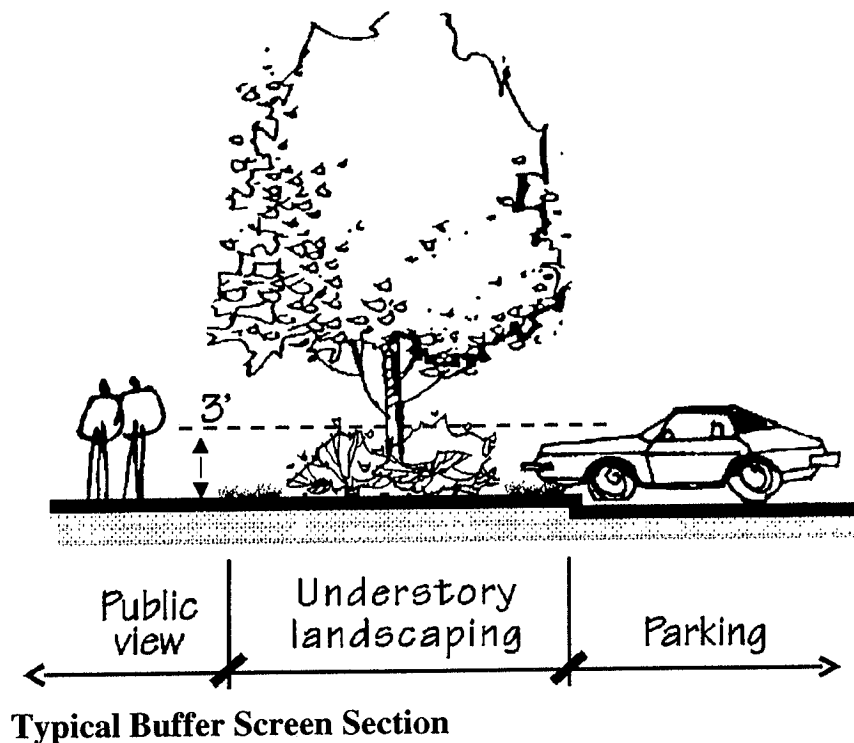
- Buffers

Where feasible, off-street parking areas shall be visually screened from the street. The landscape buffer will typically use native and indigenous species for their hardiness and less demanding maintenance needs. Where the width of the buffer strip is relatively narrow, a continuous hedge of shrubs, grass sod and/or mulch will typically be used to screen adjacent parking. The hedge material will be planted at a uniform

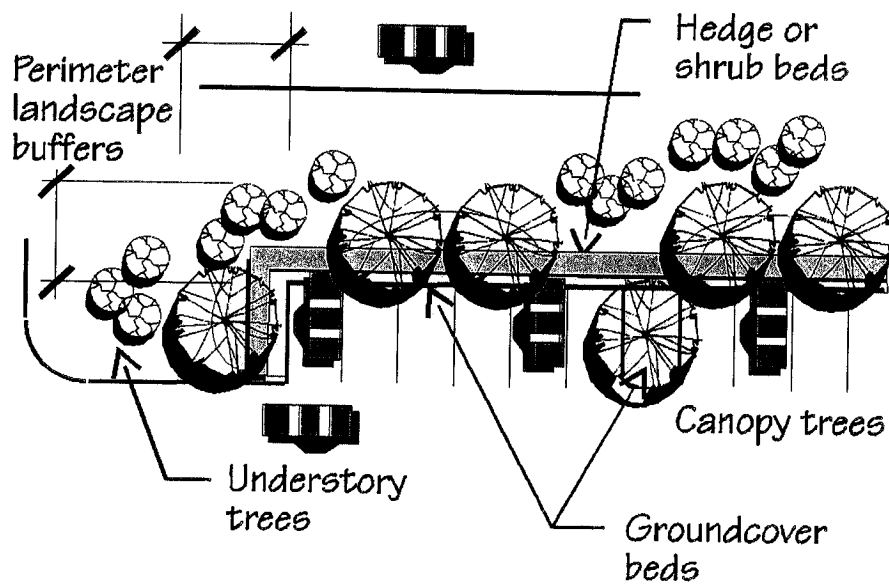
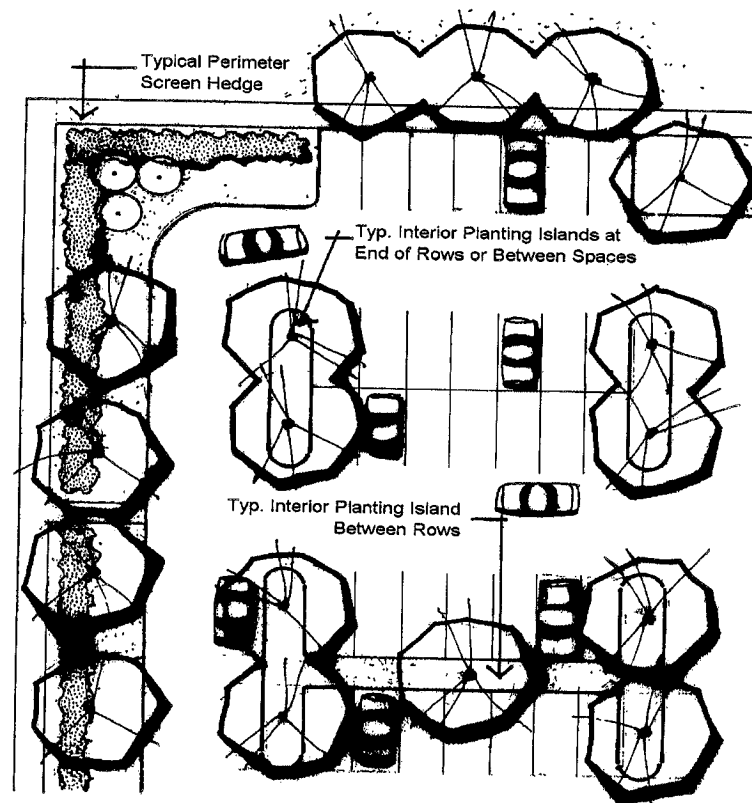
## 9 GENERAL LANDSCAPING STANDARDS

spacing that at maturity will create a visual screen. If walls and/or fences are used in combination with or in lieu of shrubs, the materials shall be decorative and compatible. Where space permits, both sides of the fencing and/or walls shall be landscaped. Where space permits, multiple rows of shrubs and groundcover may be used to create a layered effect. Undulating berms combined with shrub masses may also be provided use in situations to buffer noise and provide greater separation. Where the landscape buffers are located adjacent to

a street, the buffer planting will typically include the adjacent street tree planting. Because this is a mixed-use community, the Developer is not required to provide discreet buffers between the various land uses within the Victoria Park community but may do so as a part of its internal land planning and at its option. All buffers described in this Section 9 will be maintained by the Developer's or the Developer's successor-in-interest; i.e. a Master Homeowners Association or a Neighborhood Association.



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Typical Perimeter Buffer Plan Layouts

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## PLANT LIST <sup>1/ 2/</sup>

Photo Key	Botanical Name	Common Name	Native Habitat	Drought Tolerance		
				High	Med.	Low
	<b>TREES</b>					
4,28	Acer Rubrum	Red Maple Tree	CS			X
	Betula Nigra (multi-stem)	River Birch	WF			X
	Callistemon rigidus	Erect Bottlebrush	-	X		
	Callistemon viminalis	Weeping Bottlebrush	-	X		
	Carya glabra	Pignut Hickory	SH, WF, MH, UMF	X		
31	Cephalanthus occidentalis	Buttonbush	WF			X
	Cupressus glabra	Carolina Safire Cypress	-		X	
	Elaeocarpus decipens	Japanese Blueberry	-			X
	Elaeocarpus decipens	Japanese Blueberry (tree form)	-			X
	Eriobotrya japonica	Loquat	-	X		
	Fraxinus caroliniana	Pop Ash	CS	X		
6,19	Ilex cassine	Dahoon Holly	PFW, WF, CS	X		X
	Ilex 'Nellie Stevens'	Nellie Stevens Holly	-		X	
7	Ilex opaca 'East Palatka'	East Palatka Holly	-		X	
	Ilex vomitoria	Yaupon Holly	MH, UF	X		
	Ilex vomitoria 'Weeping Yaupon'	Weeping Yaupon Holly	-	X		
	Jacaranda mimosifolia	Jacaranda	-	X		
	Juniperus silicicola	Southern Red Cedar	WF, MH, UF, UMF	X		
10	Lagerstroemia indica 'Basham'	Basham's Pink Crape myrtle (multi-stem)	-	X		
10	Lagerstroemia indica 'Muskogee'	Muskogee Crape myrtle (multi-stem)	-	X		
10	Lagerstroemia indica 'Natchez'	Natchez Crape myrtle (multi-stem)	-	X		
10	Lagerstroemia indica 'Tuscarora'	Tuscarora Crape myrtle (multi-stem)	-	X		
	Ligustrum japonicum	Ligustrum (multi-stem)	-		X	
	Liquidambar styraciflua	Sweet Gum Tree	WF, UF	X		
	Liquidambar styraciflua 'rotundiloba'	Rotundiloba CSeet Gum Tree (fruitless)	-	X		
	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	-		X	
3	Magnolia grandiflora	Southern Magnolia	MH, UF	X		
	Magnolia grandiflora 'DD Blanchard'	Southern Magnolia	-		X	
	Magnolia virginiana	Sweetbay Magnolia	CS	X		
9,32	Myrica cerifera	Wax Myrtle	PFW, WF, CS			
	Nyssa aquatica	Water Hickory	CS	X		
	Nyssa sylvatica	Swamp Hickory	CS, UMF	X		
	Persea palustris	Redbay	PFW, WF, MH	X		
	Pinus clausa	Sand Pine	SH	X		
	Pinus elliotii	Slash Pine	PFW, SH	X		
	Pinus palustris	Longleaf Pine	PFW, UMF	X		
	Pinus taeda	Loblolly Pine	UF, UMF	X		
	Platanus occidentalis	Sycamore	WF, , UF		X	
	Prunus angustifolia	Chicksaw Plum	SH, MH, UMF		X	
	Prunus caroliniana	Cherry Laurel	SH, MH		X	
	Quercus falcata	Southern Red Oak	UMF	X		
	Quercus geminata	Sand Live Oak	SH	X		

<sup>1/</sup> This Plant List is illustrative of plants permitted within Victoria Park. It may be supplemented by the Developer and if supplemented, it shall be deemed a Non-Substantial Variance as described in Section 2.

<sup>2/</sup> Selected photos of plants can be located using the photo key numbers.

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Photo Key	Botanical Name	Common Name	Native Habitat	Drought Tolerance		
				High	Med.	Low
29	Quercus laurifolia	Laurel Oak Tree	MH, WF, UMF		X	
	Quercus nuttalli	Nuttall Oak	-		X	
2	Quercus Shumardii	Shumardi Oak	MH, UF		X	
1	Quercus virginiana	Live Oak Tree	WF, MH, UF, UMF	X		
	Salix babylonica	Weeping Willow	-			X
	Tabebuia caraiba	Silver Trumpet Tree	-		X	c
27	Taxodium ascendens	Pond Cypress	PFW, WF, CS, ES	X		
27	Taxodium distichum	Bald Cypress	PFW, WF, CS	X		
	Ulmus americana	American Elm	WF	X		
8	Ulmus parifolia	Drake Elm	-	X		
	Ulmus parifolia 'Allee'	Allee Elm	-	X		
	<b>PALM TREES</b>					
17	Acoelorrhaphe wrightii	Paurotis Palm	CS, WF		X	
	Phoenix canariensis	Canary Island Date Palm	-	X		
	Phoenix dactylifera 'Medjool'	Medjool Dactylifera Palm	-		X	
5,26	Sabal palmetto	Cabbage Palm	PFW, WF, CS	X		
	Trachycarpus fortunei	Windmill Palm	-	X		
	Washingtonian robusta	Washingtonian Palm	-	X		
	<b>SHRUBS</b>					
	Abelia grandiflora 'Sherwoodii'	Dwarf Glossy Abelia	-		X	
	Allamanda nerifolia	Bush Allanda	-		X	
	Bouganvillea	Afterglow Bouganvillea	-	X		
	Bouganvillea	Barbara Karst Bouganvillea	-	X		
	Bouganvillea	California Gold Bouganvillea	-	X		
	Bouganvillea	Purple Bouganvillea	-	X		
	Bouganvillea	Jamica White Bouganvillea	-	X		
	Buxus microphylla	Japanese Boxwood	-		X	
	Callicarpa americana	Beautyberry	PFW, MH	X		
	Carissa crocarpa 'Boxwood Beauty'	Boxwood Beauty Natal Plum	-	X		
31	Cephalanthus occidentalis	Buttonbush	WF, CS	X		
18	Cornus foemina	Swamp Dogwood	CS WF	X		
	Elaeagnus pungens	Silverthorn	-	X		
	Euphorbia Millii	Crown of Thorns	-	X		
	Galphemia gracilis	Thyrallis	-		X	
	Ilex comuta	Chinese Holly	-		X	
	Ilex comuta 'Burfordi'	Dwarf Burford Holly	-		X	
	Ilex crenata	Cornuta Holly	-		X	
14	Ilex vomitoria	Yaupon Holly	UMF	X		
11	Illicium floridanum	Florida Anise	WF		X	
12	Illicium parviflorum	Yellow Anise	-		X	
	Ixora coccinea	Orange/Red Ixora	-		X	
	Ixora coccinea	Yellow Ixora	-		X	
	Ixora coccinea 'Nora Grant'	Red Ixora	-		X	
	Jasminum multiflorum	Downy Jasmine	-		X	
	Juniperus chinensis	Parsoni Juniper	-	X		
32	Myrica cerifera	Wax Myrtle	PFW, WF, UMF	X		
	Nandina domestica	Heavenly Bamboo	-	X		
	Nerium oleander 'Calypso Pink'	Pink Oleander	-	X		
	Nerium oleander 'Calypso Red'	Red Oleander	-	X		
	Nerium oleander 'Calypso White'	White Oleander	-	X		
	Nerium oleander 'Petite'	Petite Pink Oleander	-	X		
	Phyllodendron "Xanadu"	Xanadu Phyllodendron	-		X	
	Phyllodendron selloum	Split Leaf Philodendron	-		X	

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Photo Key	Botanical Name	Common Name	Native Habitat	Drought Tolerance		
				High	Med.	Low
	Pittosporum tobira	Green Pittosporum	-		X	
	Pittosporum tobira compacta	Compact Green Pittosporum	-		X	
	Plumbago auriculata	Imperial Blue Plumbago	-		X	
	Podocarpus macrophylla 'ki'	Yew Podocarpus	-	X		
	Raphiolepis indica 'alba'	White Indian Hawthorn	-	X		
	Raphiolepis indica 'Rosea'	Pink Indian Hawthorn	-		X	
	Rhododendron 'Red Ruffle'	Red Ruffle Dwarf Azalea	-		X	
	Rhododendron 'Alaska White'	Alaska White Dwarf Azalea	-		X	
	Rhododendron 'Duchess of Cypress'	Duchess of Cypress Dwarf Azalea	-		X	
	Rhododendron 'Early Red'	Large Red Azalea	-		X	
	Rhododendron 'Formosa'	Large Purple Azalea	-		X	
	Rhododendron 'G.G. Gerbing'	Large White Azalea	-		X	
	Rhododendron 'George Tabor'	George Tabor Azalea	-		X	
	Rhododendron 'Southern Charm'	Southern Charm Azalea	-		X	
	Temstroemia gynthera	Japanese Cleyera	-	X		
	Vaccinium arboreum	Sparkleberry	SH	X		
	Vaccinium darrowii	Blueberry	SH	X		
	Viburnum odoratissimum	Sweet Viburnum	-		X	
	Viburnum suspensum	Sandanka Viburnum	-		X	
	<b>SPECIMEN SHRUBS</b>					
	Crinum asiaticum	Crinum Lily	-		X	
	Livistonia chinensis	Chinese Fan Palm	-	X		
	Rhapis excelsa	Lady Palm	-		X	
16	Rhapidophyllum hystrix	Needle Palm	WF, MH	X		
	Serenoa repens	Saw Palmetto	PFW, WF, CS, SH	X		
	Serenoa repens 'Cinerea'	Silver Saw Palmetto	-	X		
	Strelitzia nicolai	White Bird of Paradise	-			X
	Strelitzia reginae	Bird of Paradise	-		X	
	Yucca elaphantipes	Spineless Yucca	-	X		
13	Yucca aloifolia	Spanish Bayonet	BS	X		
	Zamia spp.	Cardboard Palm	PFW	X		
	<b>GROUND COVER</b>					
	Agapanthus africanus	Lily of the Nile	-		X	
	Alpinia zerumbet	Shell Ginger	-			X
	Aspidistra elatior	Cast Iron Plant	-	X		
	Cyrtomium falcatum	Holly Fern	-		X	
	Gamolepis Chrysanthemoides	African Bush Daisy	-		X	
	Hedera canariensis	Algerian Ivy	-		X	
	Juniperus conferta	Blue Pacific Juniper	-	X		
	Juniperus horizontalis	Prince of Wales Juniper	-	X		
15	Lantana camera 'Gold Mound'	Gold Mound Lantana	-	X		
	Lantana montivedensis	White Lantana	-	X		
	Liriope muscari 'Big Blue'	Big Blue Liriope	-		X	
	Liriope muscari 'Evergreen Giant'	Evergreen Giant Liriope	-	X		
	Moraea iridioides	African Iris	-	X		
	Rhoeo spathacea	Oyster Plant	-	X		
	Saururus cernuus	Lizard's Tail	CS	X		
	Spathiphyllum 'una Loa'	Peace Lily	-		X	
	Temstroemia gymnanthera	Japanese Cleyera	-	X		
	Trachelospermum asiaticum	Dwarf Asiatic Jasmine	-	X		
	Trachelospermum asiaticum 'variegatum'	Dwarf Variegated Asiatic Jasmine	-	X		
	Trachelospermum jasminoides	Confederate Jasmine	-	X		
	Tulbagia violacea	Society Garlic	-	X		
	Wedelia trilobata	Wedelia	-	X		

# 9 GENERAL LANDSCAPING STANDARDS

Photo Key	Botanical Name	Common Name	Native Habitat	Drought Tolerance		
				High	Med.	Low
	<b>VINES</b>					
	Bougainvillea	Afterglow Bouganvillea	-	X		
	Bougainvillea	Barbara Karst Bouganvillea	-	X		
	Bougainvillea	California Gold Bouganvillea	-	X		
	Bougainvillea	Jamica White Bouganvillea	-	X		
	Bougainvillea glabra	Purple Bouganvillea	-	X		
	Ficus pumila	Creeping Fig	-		X	
	Lonicera japonica	Japanese Honeysuckle	-	X		
	Lonicera sempervirens	Coral Honeysuckle	-		X	
	Mandevilla amabilis 'Alice Du Pont'	Alice Dupont ndevilla	-			X
	Pyracantha koidzumii var vistory	Firethorn	-		X	
	Trachelospermum jasminoides	Confederate Jasmine	-		X	
	Trachelospermum jasminoides 'Variegata'	Variegated Confederate Jasmine	-		X	
	<b>PERENNIALS &amp; ANNUALS</b>					
	Annuals	Species & Color by Landscape Architect	-			X
	Pentas lanceolata	Pentas (var. colors)	-		X	
	Salvia coccinea	Salvia (var. colors)	-			X
	<b>ORNAMENTAL GRASSES</b>					
24	Muhlenbergia capillaris	Muhly Grass	PFW, SH	X		
	Pennisetum setaceum 'Cupreum'	Red Fountain Grass	-		X	
25	Spartina bakeri	Sand Cord Grass	-	X		
	<b>LAWN GRASSES</b>					
	Cynodon dactylon	Bermuda Grass	-	X		
	Paspalum notatum	Bahia grass	-	X		
	Stenotaphrum secundatum	St. Augustine Grass	-		X	
	<b>WETLAND PLANTS</b>					
32	Acrostichum spp	Leather Fern	FM			
20	Borrchua frutescens	Sea-Oxeye Daisy	FM			X
	Canna flaccida	Native Canna Lily	FM			X
18	Cornus foemina	Swamp Dogwood	FM,WF	X		X
21	Hibiscus coccinea	Swamp Hibiscus	FM			
22	Hymenocallis spp.	Spider Lily	FM			X
	Iris savanarum	Native Iris	FM			X
	Juncus effusus	Soft Rush	FM			X
30	Nymphaea odorata	Fragrant White Water Lily	FM			X
	Panicum hemitomom	Maidencane	FM			X
23	Pontederia cordata	Pickerei Weed	FM			X
	Sagittaria lancifolia	Duck Potato	FM			X
	Sagittaria latifolia	Arrowhead	FM			X
	Saururus cernuus	Lizard's Tail	FM			X
	Scirpus californicus	Giant Bullrush	FM			X

## FOOTNOTES:

### Native Habitat Legend

BS:	Beach/Strand	PFW:	Pine Flatwoods
CS:	Cypress Swamp	SH:	Sandhill & Scrub Forest
FM:	Freshwater Marsh	UMF:	Upland Mixed Forests
MH:	Upland Mesic Hardwood Forests	WF:	Wetland Forest-Swamp Forest and Hydric Hammocks

## 9 GENERAL LANDSCAPING STANDARDS

### CONCEPTUAL PLANT PALETTE

#### Streetscape Vegetation: Large Canopy Trees

- Common Name:** Live Oak  
**Botanical Name:** *Quercus Virginiana*  
**Mature Height:** 50' - 60'  
**Special Attributes:** Moderate growth, prefers well-drained conditions. Short, massive, very wide spread with horizontal branches. Ideal native tree for shade, open space; parks and schools and where there are generous rights-of-way for boulevard or highway planting.



1

- Common Name:** Shumard Oak  
**Botanical Name:** *Quercus shumardii*  
**Mature Height:** 75' - 90'  
**Special Attributes:** Grows in moist soil, fast growth rate. North American native, moderately flammable, inconspicuous flowers or blooms, inconspicuous fruit, trunk is not showy, trunk has no thorns, single trunk.

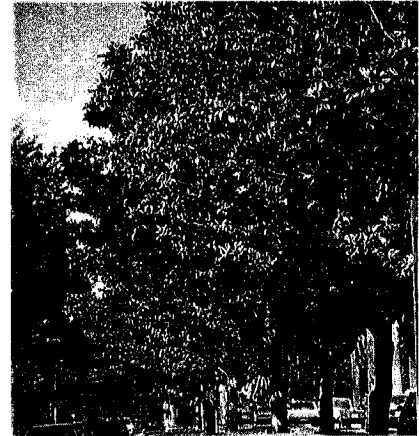


2



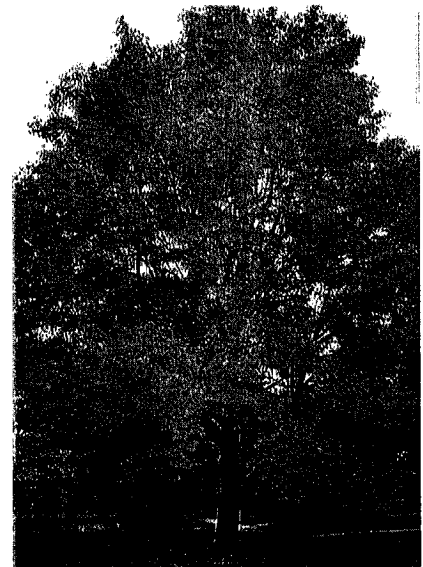
## **9 GENERAL LANDSCAPING STANDARDS**

**Common Name:** Southern Magnolia  
**Botanical Name:** *Magnolia grandiflora*  
**Mature Height:** 60' - 100'  
**Special Attributes:** Moderate to rapid growth, prefers moist conditions. Usually a broad pyramidal and symmetrical shape with long, lustrous, dark green foliage and white bowl-shaped flowers. Ideal as a highway tree in natural groups of varied sizes.



**3**

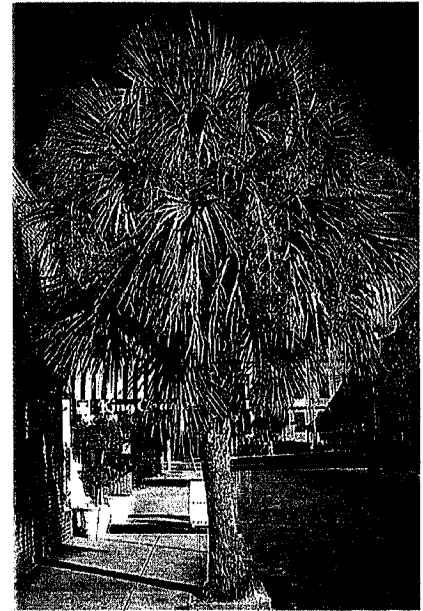
**Common Name:** Red Maple  
**Botanical Name:** *Acer rubrum*  
**Mature Height:** 50' - 70'  
**Special Attributes:** Prefers wetland and swampy conditions, but adaptable to higher drier locations. Cylindrical, tall, well-developed trunk and branching with deep green foliage and attractive red and yellow Fall color. Excellent shade tree.



**4**

## 9 GENERAL LANDSCAPING STANDARDS

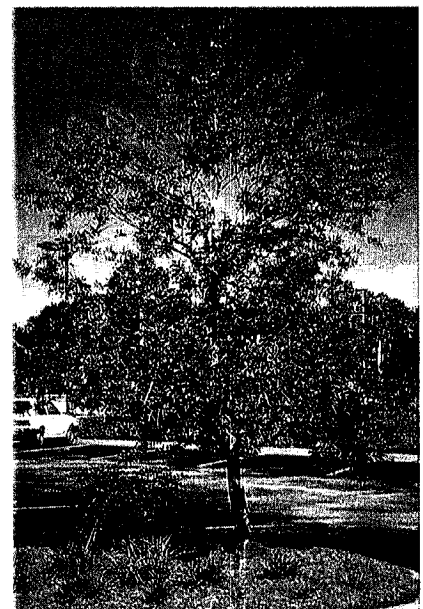
- Common Name:** Sabal Palm
- Botanical Name:** Sabal palmetto
- Mature Height:** 45' - 70'
- Special Attributes:** Slow growing, drought resistance. Fan-shaped bluish-green leaves with a midrib giving them a characteristic, twisted appearance. Used in commercial, residential and municipal landscaping.



5

### Streetscape Vegetation: Understory Small Canopy Trees

- Common Name:** Dahoon Holly
- Botanical Name:** Ilex cassine
- Mature Height:** 40'
- Special Attributes:** Slow growth, prefers moist conditions. Erect, narrow with dense shiny dark green foliage. A colorful small scale specimen for residential planting.



6

## **9 GENERAL LANDSCAPING STANDARDS**

**Common Name:** East Palatka Holly  
**Botanical Name:** *Ilex x attenuata* 'East Palatka'  
**Mature Height:** 20' - 30'  
**Special Attributes:** Medium growth, prefers moist conditions. Pyramidal form with dark green foliage and white flowers. Excellent accent tree.



**7**

**Common Name:** Drake Elm  
**Botanical Name:** *Ulmus parvifolia* 'Drake'  
**Mature Height:** 30' - 40'  
**Special Attributes:** Medium growth, drought resistance. Showy trunk bark and dark green foliage. Ideal as a patio tree.



**8**

### **Streetscape Vegetation: Understory Small Canopy Trees**

**Common Name:** Wax Myrtle  
**Botanical Name:** *Myrcia cerifera*  
**Mature Height:** 20' - 30'  
**Special Attributes:** Prefers wet to moist conditions. Crooked, gray branches support a well-balanced crown with dense olive-green foliage. Can be used for loose, informal hedges and screens. Excellent accent tree.



**9**

## 9 GENERAL LANDSCAPING STANDARDS

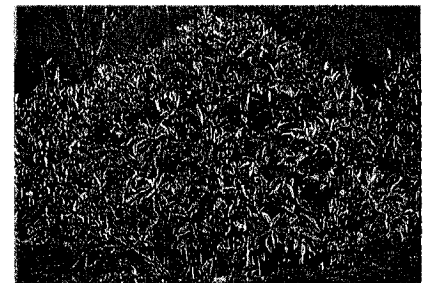
**Common Name:** Crape Myrtle  
**Botanical Name:** *Lagerstroemia indica*  
**Mature Height:** 15' - 25'  
**Special Attributes:** Drought resistant. Upright and open or rounded with dense multi-trunked branch-ing. Often used in line on a repetitive linear rhythm on 12'-15'.



10

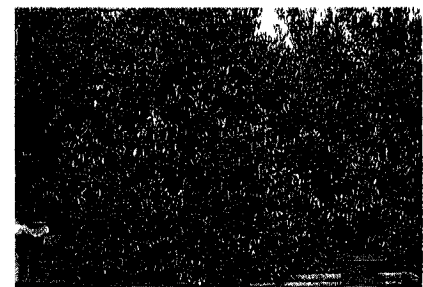
### Streetscape Vegetation: Large Shrubs

**Common Name:** Florida Anise  
**Botanical Name:** *Illicium floridanum*  
**Mature Height:** 15'  
**Special Attributes:** Prefers moist conditions. Shiny green foliage with crimson red flowers. Serves as a background or specimen shrub.



11

**Common Name:** Yellow Anise  
**Botanical Name:** *Illicium paviflorum*  
**Mature Height:** 15'  
**Special Attributes:** Prefers moist conditions. Shiny green foliage with small yellow flowers. Often used ornamentally. It softens corners of houses, as a shrub set off in the yard, or as a hedge or background plant.



12

## **9 GENERAL LANDSCAPING STANDARDS**

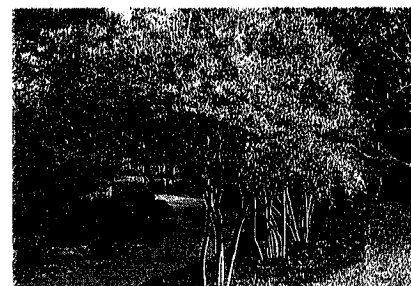
- Common Name:** Spanish Bayonet  
**Botanical Name:** *Yucca aloifolia*  
**Mature Height:** 8' 10'  
**Special Attributes:** Requires well-drained soils. Evergreen, clump-forming shrub with an erect, densely leafy stem and overlapping leaves with white conspicuous flowers.



**13**

### **Streetscape Vegetation: Small Shrubs**

- Common Name:** Dwarf Yaupon Holly  
**Botanical Name:** *Ilex vomitoria*  
**Mature Height:** 2' - 3'  
**Special Attributes:** Prefers well-drained conditions. Dense flattened globe, symmetrical form with dark green foliage. Prime groundcover material by virtue of its crisp rounded form. Also, makes a low rigid hedge or edger.



**14**

- Common Name:** Lantana  
**Botanical Name:** *Lantana camara*  
**Mature Height:** 4' - 6'  
**Special Attributes:** An erect, deciduous, multi-branched shrub with multi-colored and colorful, pink, yellow, orange, and white flowers.



**15**

## 9 GENERAL LANDSCAPING STANDARDS

### Streetscape Vegetation: Small Shrubs

- Common Name:** Needle Palm  
**Botanical Name:** *Rhapidophyllum hystrix*  
**Mature Height:** 3' - 5'  
**Special Attributes:** Prefers moist conditions. Low-growing, leafy evergreen palm with dark green foliage. An attractive foundation shrub.



16

### Wetland Vegetation: Understory Trees

- Common Name:** Paurotis Palm  
**Botanical Name:** *Acoelorrhaphe wrightii*  
**Special Attributes:** Slow growth to 25' in height. Very round, fan-shaped leaves, green on top and silvery underneath with a slender, clustered, fiber-covered trunk. Drought resistant, prefers moist conditions.



17

## **9 GENERAL LANDSCAPING STANDARDS**

- Common Name:** Swamp Dogwood
- Botanical Name:** *Cornus foemina*
- Special Attributes:** Shrub or small tree to about 20' tall. A broad, low dome form with white flowers. Usually found on stream banks, pond and lake shores, wet thickets and clearings, floodplain forests, swamps, wet forests; also well-drained forests.



**18**

- Common Name:** Dahoon Holly
- Botanical Name:** *Ilex cassine*
- Special Attributes:** Evergreen tree with leathery, glossy, elliptic leaves and red berries. Located on edge of streams, floodplains, cypress-gum ponds or depressions or flatwoods depressions.



**19**

## 9 GENERAL LANDSCAPING STANDARDS

### Wetland Vegetation: Wildflowers

- Common Name:** Sea-oxeye Daisy  
**Botanical Name:** *Borrichia frutescens*  
**Special Attributes:** Perennial bushy herb with gray-green leaves and yellow ray flowers. Can be found in marshes and mud flats.



20

- Common Name:** Swamp Hibiscus  
**Botanical Name:** *Hibiscus coccinea*  
**Special Attributes:** Large herb with several stems from base with alternate leaves and large pink to white flowers. Located in marshy shores of ponds, lakes, streams, swamps, glades, sloughs, ditches, canals, commonly in water.



21

- Common Name:** Spider Lily  
**Botanical Name:** *Hymenocallis* spp.  
**Special Attributes:** A white lily-like flower with 6 narrow, white petals; white membranous tissue connecting the stamens, and broad, strap-shaped leaves. Often found in swamps, floodplain forests, wet forests, sloughs, and streams.



22



## **9 GENERAL LANDSCAPING STANDARDS**

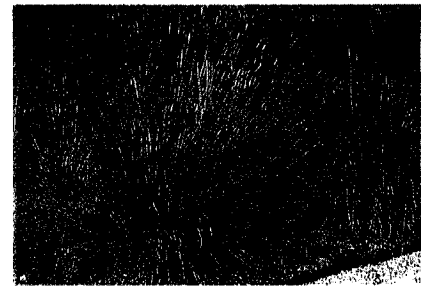
### **Wetland Vegetation: Groundcover**

**Common Name:** Pickerweed  
**Botanical Name:** *Pontederia cordata*  
**Special Attributes:** Herb with blue or rarely white flowers with narrow to ovate leaves on long fleshy stalks. Located in marshes, streams, ditches, wet prairies, shallow water of ponds and lakes.



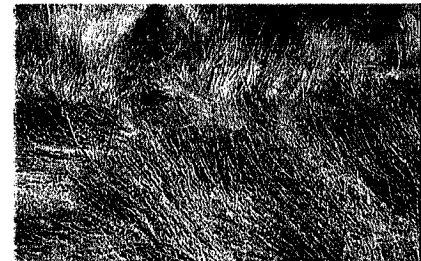
**23**

**Common Name:** Muhly Grass  
**Botanical Name:** *Muhlenbergia capillaris*  
**Special Attributes:** Grass growing in clumps, with narrow rolled blades, pointed projection at top of sheath with large seedheads and flowers at tips of branches. Can be found on low flatwoods, coastal strand and cypress swamps.



**24**

**Common Name:** Sand Cord Grass  
**Botanical Name:** *Spartina patens*



**25**

## 9 GENERAL LANDSCAPING STANDARDS

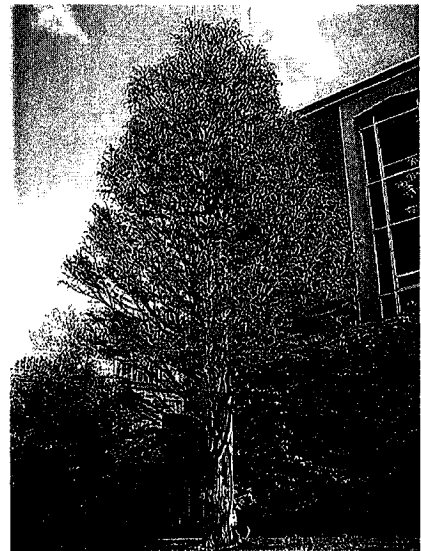
### Wetland Vegetation: Canopy Trees

- Common Name:** Cabbage Palm
- Botanical Name:** Sabal palmetto.
- Special Attributes:** Slow growing, drought resistances. Fan-shaped bluish-green leaves with a midrib giving them a characteristic, twisted appearance.



26

- Common Name:** Bald and Pond Cypress
- Botanical Name:** Taxodium spp.
- Special Attributes:** An upright, pyramidal form to about 100'. Can be found in fresh water swamps flooded for at least part of the year. Plant in staggered sizes in colonies at stream banks, wetlands and shorelines of lakes.



27

## **9 GENERAL LANDSCAPING STANDARDS**

- Common Name:** Red Maple
- Botanical Name:** *Acer rubrum*
- Special Attributes:** Prefers wetland and swampy conditions, but adaptable to higher drier locations. Cylindrical, tall, well-developed trunk and branching with deep green foliage and attractive red and yellow Fall color.



**28**

### **Wetland Vegetation: Canopy Trees**

- Common Name:** Laurel Oak
- Botanical Name:** *Quercus Laurifolia*
- Special Attributes:** Rapid Growth, prefers moist to wet conditions. Dense, upright, developing in age to large haystack crown. Ideal for use as a water survivor in its favorite locations.



**29**

### **Wetland Vegetation: Aquatic Plants**

- Common Name:** Fragrant Water-Lily
- Botanical Name:** *Nymphaea odorata*



**30**

## 9 GENERAL LANDSCAPING STANDARDS

### Wetland Vegetation: Shrubs

**Common Name:** Buttonbush

**Botanical Name:** *Cephalanthus occidentalis*

**Special Attributes:** Shrub or small tree, rarely 50' tall with opposite leaves and small white flowers and brown fruits. Can be found in swamps, sloughs, shallow ponds, small stream banks and marshes.

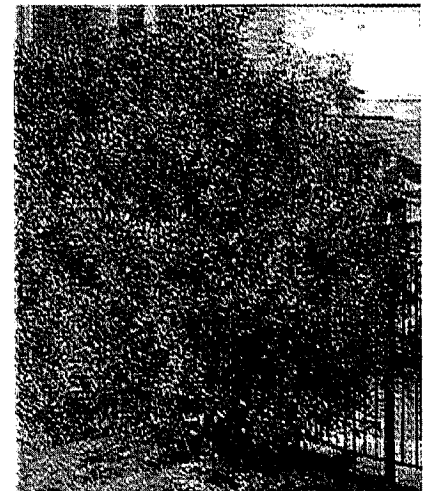


31

**Common Name:** Wax Myrtle

**Botanical Name:** *Myrica cerifera*

**Special Attributes:** Shrub or small tree to about 20' tall with alternate brownish-yellow leaves. Characteristic odor when crushed. Located in fresh and brackish banks, shores, flats, swales, pine savannas and flatwoods, and swamps.



32

## **10** DEFINITIONS

Interpretation	10.1
Measurement of Distances	10.2
Conflicts	10.3
Interpretation of Undefined Terms	10.4
Definitions	10.5

# 10 DEFINITIONS

## 10.1 Interpretation

Shall; Should; May, Includes the word "shall" or "will" is mandatory; the word "should" is directive but not necessarily mandatory; the word "may" is permissive. The word "includes" shall not limit a term to the specific examples, but is intended to extend its meaning to all other instances or circumstances of like kind or character.

## 10.2 Measurement of Distances

Unless otherwise specified, all distances shall be measured horizontally and at right angles to the line relation to which the distance is specified.

## 10.3 Conflicts

The particular shall control the general. In case of any difference or meaning or implication between the text of this Planned Development and any caption, figure, illustration, summary table, or illustrative table, the text shall control.

## 10.4 Interpretation of Undefined Terms

Terms not otherwise defined herein shall be interpreted first by reference to the City of DeLand's adopted Growth Management Plan, if specifically defined therein; secondly, by the City of DeLand Land Development Regulations; thirdly, by the Congress of New Urbanism Lexicon; and fourthly, by reference to generally accepted engineering, planning, or other professional terminology if technical; and otherwise according to common usage, unless the context clearly indicates otherwise.

## 10.5 Definitions

**Abutting (or Adjoining):** Touching and sharing a common point or line. This term shall not be deemed to include parcels which are across the street from each other.

**Accessory Service:** This term shall be deemed to include accessory service uses, accessory private garages, home occupations, accessory tennis courts, and the like. However, required parking facilities shall not be deemed to be an accessory use.

**Adjacent:** Near to but not necessarily touching.

**Architectural Enhancement:** The physical result of the application or skill and taste according to aesthetic principals to the architectural embellishment of a building, the placement of works of art in the interior or exterior spaces of the building, or special landscape treatments such as parks, plazas or atriums.

**Backlit Awning:** A fireproofed, enclosed, illuminated space frame structure designed in awning form.

**Berm (or Earth Mound):** Earth contoured so as to form a mound above the general elevation of the adjacent ground or surface.

**Bicycle Parking Space, Class I:** A completely enclosed parking space or controlled access area designed so that an unauthorized person cannot remove a bicycle from it.

## 10 DEFINITIONS

**Bicycle Parking Space, Class II:** A parking space which includes a device which locks both wheels and the frame. The user may have to provide the lock.

**Bicycle Parking Space, Class III:** A parking space which includes a rack or other fixed object to which a bicycle may be secured with the user's own lock.

**Bike Lane:** A portion of a roadway (typically 4'-0") which has been designated by signing and paving markings for the preferential or exclusive use by bicycles.

**Bike Paths:** Off-street facilities used by bicycles or by other users if properly designed. Bicycle paths may be located within the right-of-way of parallel roadways but are often located in separate rights-of-way or open space.

**Bikeway:** Bikeways are appropriate facilities for bicycling. Bikeways include bicycle paths, bicycle lanes, bicycle routes, wide curb lanes and paved shoulders.

**Block Face:** That portion of a Block which abuts an individual street.

**Build-to Line:** A line appearing graphically or stated as a setback dimension along which its facade must be placed.

**Building Plane:** An exterior flat or level surface of a building, such as a building wall.

**Building Restriction Line:** A line following the rear of any required yard setback, establishing the minimum allowable distance between the nearest portion of any building

and the lot line when measured perpendicularly thereto.

**City:** The City of DeLand, Florida and its authorized agents.

**City Commission:** The City Commission of the City of DeLand, Florida

**Civic Club:** Buildings and facilities owned and operated by a corporation or association of persons for civic, social, fraternal or recreational purposes and not operated or maintained primarily for profit.

**Commercial Use:** Any one of the following uses permitted or prohibited as set forth in Sections 5, 6 or 7.

**Common Area:** Any part of a development designed and intended to be used in common by the owners, residents or tenants of the development. These areas may contain such complementary structures and improvements as are necessary and appropriate for the benefit and enjoyment of the owners, residents or tenants.

**Common Improvements:** All streets, driveways, parking bays, and other vehicular use areas, and all uses, facilities, structures, buildings, and other improvements, or portions thereof, which are designed and provided for the common use, benefit, and enjoyment of all residents or occupants of all or a designated portion of a development or neighborhood, or for the protection of adjacent property.

**Common Open Space:** All open space, or portions thereof, including landscaping,

## **10** DEFINITIONS

screening, and buffering, which is part of a Common Area.

**Common Ownership:** Ownership of common open space or common improvements which grants at least some undivided and common rights in such lands or improvements to the residents or occupants of a development or a neighborhood either directly, or indirectly through shares or other interests in the property of a separate legal entity.

**Common Center:** A building used for recreational, social, education and cultural activities, usually owned and operated by a public or non-profit group or agency.

**Connection (Vehicular):** A driveway, street, turnout, or other means of providing for property access to or from controlled access facilities. For the purpose of access, two one-way connections to a property may constitute a single connection.

**Connection Spacing, Minimum:** The minimum allowable distance between connections, measured from the closest edge of pavement of the first connection to closest edge of the second connection along the right-of-way line. Where the right-of-way or connection is skewed or offset, this distance can be measured along the traveled way.

**Conservation Use:** Uses within land and water areas designated for the purpose of conserving or protecting natural resources or environmental quality such as open space, nature study, passive recreation, wildlife habitat, nature preserve, wetlands protection and mitigation areas and other similar uses.

**County:** Volusia County, Florida, and its authorized agents.

**Curb:** The stone or concrete boundary at the edge of the pavement of a street, which also usually includes gutters.

**Doorway:** An opening in an exterior building wall sized to admit humans including doors, archways, loggia and other similar openings.

**Driveway Approach:** That portion of the driveway within the street right-of-way between the curb and the property line, including the sidewalk section.

**DU:** Dwelling Units

**Eating and Drinking Establishment:** Any establishment selling food and/or drink for consumption on the premises, whether or not the food is cooked on the premises, including restaurants, taverns, cocktail lounges, lunch counters and refreshment stands selling prepared foods for immediate consumption.

**Exterior Features:** Includes the architectural style, general design and general arrangement of the exterior of a building or other structure, the kind and texture of the building material and the type and style of all windows, doors, light fixtures, signs, other appurtenant fixtures and other features of the building site such as trees, parking, sidewalks, etc.

**Family Day Care Center:** Any facility whatsoever which cares for one or more clients not related to the operator by blood, marriage, adoption or foster care responsibility whether children or adults, away from the client's own home, for periods of less than twenty-four



## 10 DEFINITIONS

hours per day per client. Occasional extended stays may also be provided. Such facilities may be for profit or non-profit.

This term includes Day Care Center, Child Care Center, Nursery Schools and Kindergartens, when not accessory to an elementary school; but does not include Group Care Facilities, Residential Social Service Facilities, any center under the jurisdiction of the State Board of Public Instruction, or any private school except those solely below first-grade level.

**Farmer's Market:** Any light retailing use held in an open area or structure, whether periodically, occasionally or continuously, where one or more individual sellers offer principally agricultural produce for sale to the public.

**Front Door:** The entrance into the principal building on the building site facing the street.

**Greenspace:** A landscaped area of a minimum of 1/10 of an acre. A Greenspace shall be used only for passive recreation or a visual amenity. Greenspaces may include landscaping around public utilities, lake edges, entry features to a neighborhood, and landscaped road median.

**Habitable Floor:** Any floor area usable for living purposes, which includes working, sleeping, eating, cooking or recreation, or a combination thereof. A floor area usable only for storage purposes is not a "habitable floor."

**Health Spa:** An establishment, the principal purpose of which is the improvement of physical health and well-being of individuals through the use of physical exercise and/or

physical therapy, utilizing facilities such as exercise equipment, steambaths, vapor baths and pools.

This term does not include massage establishments, commercial physical contact establishments or other adult entertainment establishments.

**Housing, Accessory Apartment:** A housing unit which is an accessory use within a detached housing in a residential district.

**Housing, Accessory Cottage:** A housing unit which is an accessory use and located in an accessory building.

**Housing, Attached (Townhouse/ Rowhouse):** A housing unit which is subdivided into one or two family housings, each of which has at least its own front or rear yard and is attached to abutting housings to approved masonry party or partition walls, thus creating distinct and non-communicating one or two family housings.

**Housing, Attached (Two-Family or Duplex):** Any group of two housing units occupying a single lot or building site, whether composed of one or more than one principal building.

**Housing, Detached (Single Family):** A housing designed for and occupied exclusively by one family.

**Housing, Garage Apartment:** A housing unit which is an accessory use and located in an accessory building which provides parking for motor vehicles, with kitchenette and sanitary facilities, but having partial separation within the room for the sleeping area.

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**Impervious Surface Ratio (ISR):** The Impervious Surface Area divided by the Site Area.

**Industrial Use:** Any of the following types of uses permitted or prohibited in Sections 5, 6, or 7.

**Intensity (of Scale):** The bulk or mass of a building or buildings on a development site, as expressed by relative scale of the building elements.

**Light Retailing:** See Retailing, Light.

**Live-Work:** A rear yard, flexible commercial building type with one integrated or attached dwelling in the form of a loft or rear apartment.

**Lot of Record:** A lot which is included in a subdivision the plat of which has been recorded in the Public Records of Volusia County, Florida.

**Lot, Reverse Corner:** A corner lot, the street side lot line of which is substantially the continuation of the front lot line of the first lot to its rear.

**Lot, Reverse Frontage:** A through lot or corner lot intentionally designed so that the front lot line faces a local street rather than facing a parallel or perpendicular major thoroughfare.

**Major Streets Plan:** includes all collectors, arterials, and limited access roads but does not include local roads.

**Massing:** The width, volume and proportions of a building and its parts.

**Median, Non-Restrictive:** A median or painted centerline which does not provide a physical barrier between center traffic turning lanes or traffic lanes traveling in opposite directions. This includes roadways with continuous center turn lanes and undivided roads.

**Median, Restrictive:** The portion of a divided roadway or divided driveway separating vehicular traffic traveling in opposite directions. Restrictive medians include physical barriers that prohibit movement of traffic across the median such as a concrete barrier, a raised concrete curb and/or island, and a grassed or swaled median.

**MF:** Multi-Family

**Mixed Use:** Any one of the following uses:

- 10.6 mixed residential/office use
- 10.7 mixed office/commercial use
- 10.8 mixed residential/commercial use
- 10.9 any other similar mixture of uses

**Neighborhood Center:** Neighborhood Center shall mean that portion of an urban village which allows neighborhood public uses. The neighborhood center shall be oriented toward the neighborhood green.

**Neighborhood Plan:** The master plan for a particular neighborhood or district which provides specific design standards and guidelines regulating the development and use of the property.

**Open Air Market:** Any retailing use held in an open area or structure, whether periodically, occasionally or continuously, where one or

## 10 DEFINITIONS

more individual sellers offer goods or agricultural products for sale to the public. This term includes flea markets and fruit and vegetable stands, but does not include roadside agricultural stands.

**Open Space:** Any contiguous area of ground of at least fifty (50) square feet which is not covered by any building, street or right-of-way, vehicular use area, or recreational structure.

**Outdoor Café:** An area adjacent to an establishment whose principal use and function is eating. This area may be at ground level or on an upper story balcony; in either case the outdoor café shall have access to the public sidewalk.

**Parapet:** A low, protective wall constructed as the continuation of the exterior wall to a building and placed along the entire perimeter of the roof of a building.

**Parking Module:** A standard of agreement of parking spaces containing two tiers of spaces and a parking aisle.

**Parkway:** The unpaved, sodded portion of a street right-of-way between the adjoining private property and facility intended to provide ingress and egress to parking spaces

**Passenger Shelter:** A covered waiting area, often with benches that provides protection to transit passengers from inclement weather.

**Pedestrian Access:** An improved surface which connects the public right-of way with private property or a building entrance.

**Pedestrian Cover:** Fixed cover that extends either from the building facade or over windows and building openings serving as protection from sun and rain.

**Planting, Site Specific:** The selection of plant material that is best suited to withstand the physical growing and soil conditions which are found in a particular location and microclimate.

**Plaza:** A small paved pedestrian area, provided with seating and landscaping. Plazas shall be used primarily for passive recreation, visual amenity and may contain seating and tables. Plazas shall be adjacent to or within the Village Center, a public right-of-way, or another Open Space Use.

**PMPH:** PM Peak Hour

**Porch Depth:** The dimension of a porch or arcade measured forward from the facade.

**Porch Width:** The dimension of a porch or arcade measured as a percentage of the facade lot width.

**Private Street Owner:** Any and all persons, partnerships, trusts, organizations, or corporations which own the fee title to the private street in question, or have an undivided interest therein.

**Public Benefit Use:** Any use necessary for the public health, convenience, safety or welfare for purposes such as public utilities; any municipal or state purpose; community centers; educational, philanthropic, charitable or religious uses; civic clubs; public or private schools (except family day care centers); and

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public or private parks or playgrounds; and accessory caretaker's quarters for any such use.

**Public Open Space Use:** A landscaped or naturalistic area used primarily for passive recreation, active recreation, visual amenity or for purposes of environmental conservation. These uses include: parks, golf courses, squares, greenspaces, pedestrian and bicycle pathways, outdoor recreation facilities, wetlands, woodlands, and native plant community conservation areas and preserves, public parks, and stormwater facilities that are visual amenities. An Open Space Use is accessible to all residents but fees may be assessed for access. An Open Space Use may be privately owned, owned in common, or publicly owned.

**Recreation (Use), Indoor:** Any of the following types of uses:

- Amusement center
- Billiard parlor
- Bowling lanes
- Clubs and lodges
- Game room
- Theaters
- any similar recreation use

**Restaurant:** See: Eating and Drinking Establishment

**Recreation (Use), Outdoor:** Any premises (whether public or private) where the principal use is the provision of outdoor amusements, sports, games, athletic facilities, or other outdoor recreational facilities and/or services including golf courses.

**Residential Use:** Any of the uses permitted or prohibited as described in Sections 5 or 6.

**Retailing (Use):** An establishment where the principal use is the selling or renting of goods or merchandise to the general public in small lots (as opposed to bulk quantities) for personal or household consumption, and rendering of services incidental to the sale of such goods. This term includes Light Retailing, Intensive Retailing, Banks and Savings Institutions, but does not include Service Uses, Eating and Drinking Establishments, or any Industrial Use.

**Retailing, Light:** Any of the following types of retailing uses:

- antique shops
- appliance stores
- art shops
- banks and savings institutions
- bicycle shops
- bookstores
- department stores
- drug stores
- florists
- gift shops
- groceries
- hardware stores
- jewelry stores
- liquor stores
- luggage stores
- music shops
- newsstands
- office supplies
- optical goods, eyeglass stores
- paint and wallpaper
- photo stores
- plumbing fixtures
- radio stores

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- retail bakery
- retail building materials
- retail plant nurseries
- small equipment rental
- speciality shops
- stationery stores
- television stores
- any similar retailing

**RM:** Rooms

**Rowhouse:** See: Housing, Attached (Townhouse / Rowhouse)

**Scale:** The apparent height, size and bulk of a structure compared to the height of adjacent buildings and to the height of a human and/or the apparent height, size and bulk of the components of the facade compared to the apparent height, size and bulk of structure.

**Service (Use):** An establishment where the principal use is the provision of services for individuals, business and government establishments and other organizations; as opposed to the selling of goods or merchandise.

**Service, Personal:** A Service Use primarily engaged in providing services involving the care of a person, his or her apparel, pets, or small appliances, and including any of the following uses:

- automobile quick-wash
- appliance services
- barber shops
- beauty shops
- dance studios
- duplicating services
- funeral homes
- health spas

- in-house carpet servicing
- laundromats
- physical fitness facilities
- photographic studios
- radio repair
- shoe repair
- tailoring
- television repair
- veterinary clinic
- watch and clock repair
- any similar use.

**SF:** Square Feet

**Signal Spacing, Minimum:** The minimum spacing or distance in miles between adjacent traffic signals on a controlled access facility measured from centerline to centerline of the signalized intersection along the traveled way.

**Single Family (Residential Use):** See Housing Detached (Single Family)

**Special Landscape Treatment:** Landscaping that creates a park-like setting or plaza, as opposed to the landscaping requirements normally associated with the siting of a building or parking facility.

**Square:** A landscaped open area bounded on at least two sides by a public right-of-way. A Square may be located adjacent to the Village Center or inside the Village Center. A Square shall provide pedestrian use, passive recreation, and visual amenity use only; active recreation uses are prohibited.

**Start of Construction:** The first placement of permanent construction of a structure on a site, such as the pouring of slabs or footings or any work beyond the stage of excavation, including

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the relocation of a structure. Permanent construction does not include the installation of streets and/or walkways; nor does it include excavation for a basement, footing, piers or foundations or the erection of temporary forms; nor does it include the installation on the property of accessory buildings, such structure or any part thereof on its piling or foundation.

**Story:** That portion of a building included between the surface of any finished floor and the surface of the next finished floor above it, or if there be no floor above it, then the space between such floor and ceiling next above it, unless such space is less than 5.5 feet in height. Wherever the height between two finished floors (or finished floor and ceiling) exceeds 25 feet, each height of 15 feet or portion greater than 5.5 feet thereof shall be construed to be one story.

**Street, Alley:** A minor way which provides a secondary vehicular service access to the back or the side of a building site otherwise abutting on a larger street.

**Street, Service:** A public or private street or road, auxiliary to and normally located parallel or perpendicular to a controlled access road, which has as its purpose to provide access to a small number of parcels.

**Thoroughfare, Pedestrian:** Any public or private pedestrian way designated to provide access to abutting property or the public right-of-way.

**Townhouse:** See: Housing, Attached (Townhouse/Rowhouse)

**Tree Encroachment:** Any intentional or unintentional act which may reasonably be expected to cause a decline in the health of a tree, including:

- damage to the root system by machinery, storage of materials or soil compaction.
- Substantially changing the natural surface grade within the drip line
- Excessive paving or building within the drip line.

**Tree Health, Good:** A healthy vigorous tree. No apparent signs of insect, disease or mechanical injury. Less than 10% dead wood of the total crown area.

**Tree Health, Fair:** A tree of average condition and vigor for the area. There may be minor insect, disease and/or physiological problems such as decay and mistletoe. There may be a need for some corrective pruning. Less than 30% deadwood of the total crown area.

**Tree Health, Poor:** A tree which is in a general state of decline, although tree death may not be imminent. The tree shows staghorned (dieback), mechanical, insect and/or disease damage, and may require major repair, pruning and fertilization. More than 40% deadwood of the total crown area.

**Turfgrass:** Continuous coverage of the ground surface by a grass species maintained by mowing.

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**Village Center:** Village Center shall mean that portion of an urban village that allows retail sites, personal services, office use, public use and residential uses. Uniform site development standards shall be applied throughout the village center.

**Wheel Stops or Curbs:** Permanently secured, durable devices no less than four inches in height, designed to restrict vehicular encroachment.

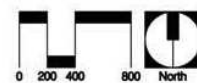
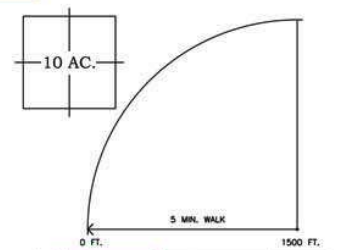
**Xeriscape®:** A set of horticultural principals which promote quality landscapes and the efficient use of water through the protection of existing vegetation, the use of appropriate plant material, the grouping of plants according to similar water requirements and other techniques.

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- LEGEND**
- PROPERTY BOUNDARY
  - RESIDENTIAL - SINGLE FAMILY
  - RESIDENTIAL - SINGLE FAMILY (FUTURE DEVELOPMENT)
  - RESIDENTIAL - MULTI FAMILY
  - INSTITUTIONAL
  - VILLAGE CENTER (RETAIL, OFFICE, RESIDENTIAL)
  - COMMERCIAL (SALES CENTER & CLUBHOUSES)
  - WORKPLACE (OFFICE, HOTEL, SERVICE)
  - LAKES
  - R.O.W.
  - R.O.W. RESERVATION
  - GOLF/OPEN SPACE
  - WETLAND
  - EASEMENT
  - WELL SITE WITH 200' BUFFER
  - CITY PARK SITE



MAP H - REVISED 12.17.2010

*Note:*  
This plan is a Preliminary Concept only. As such it is subject to modification pending environmental and engineering considerations and agency review.